

## SHEET NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
2. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-005.
3. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-006.
4. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
5. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS. FOR DOOR HARDWARE, SPECIFICATION SEE TECHNICAL SPECIFICATION SECTION 05100.
6. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
7. ALL PARTITIONS SHALL BE TYPE DR UNO.
8. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF RCP IS NOT PROVIDED SEE MEPPH/ASC/CITL SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING WALL MOUNTED SERVICES.
9. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
10. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
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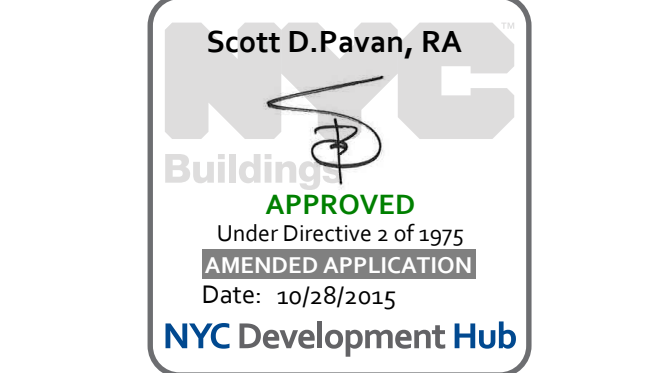
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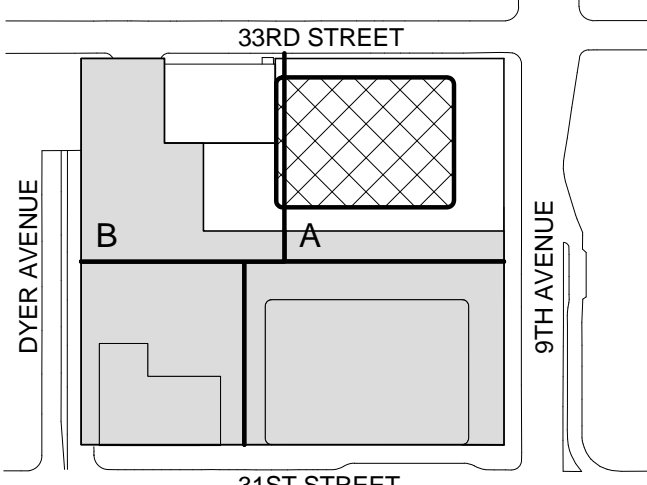
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Key Plan:



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1	18 MAR 2012	ISSUED FOR RECONCILIATION

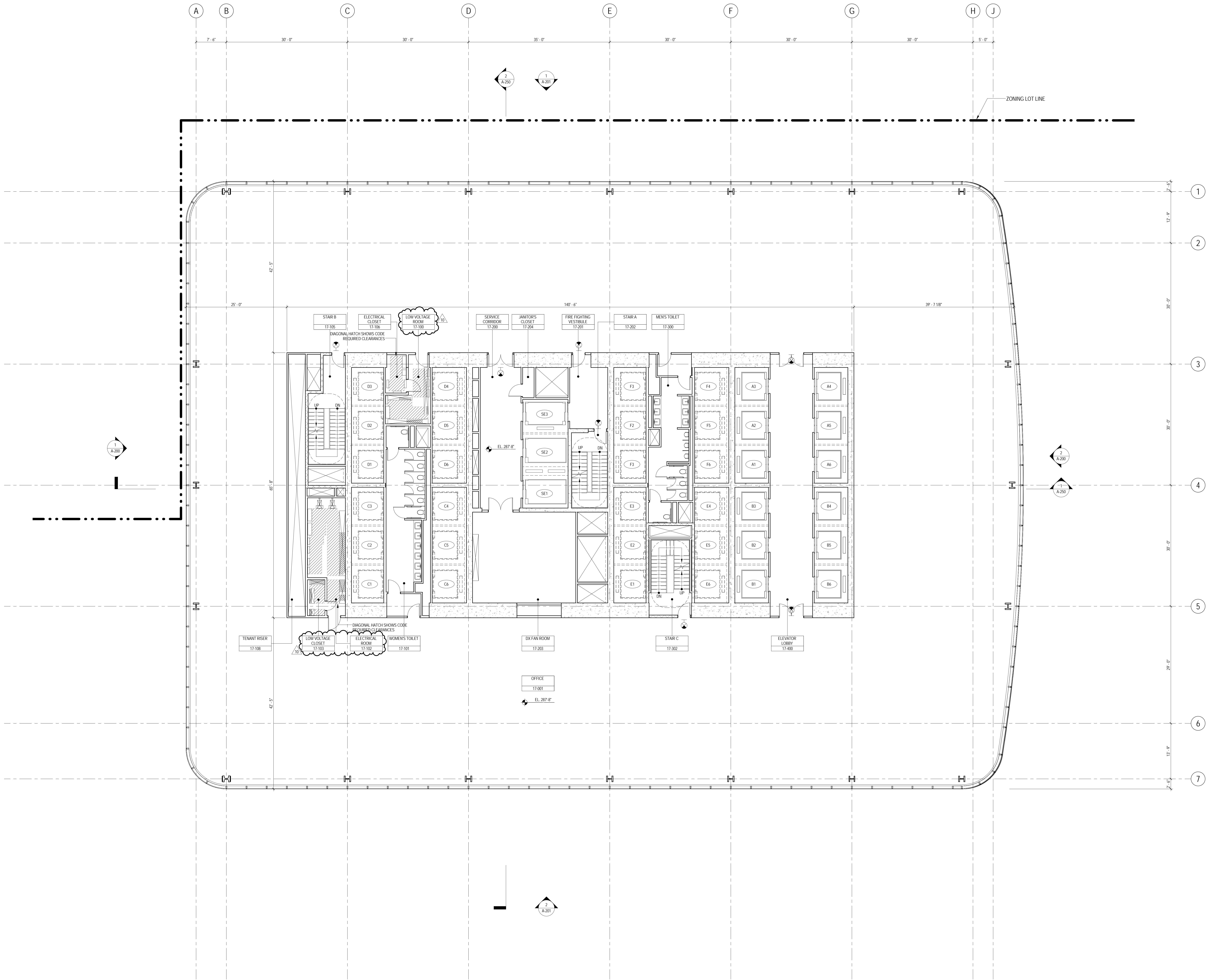
No. Date Description

Sheet Name:

**LEVEL 6-16  
FLOOR PLAN -  
TYPICAL  
LOW-RISE**

Project No.: 207150	B-SCAN Sheet No.: A-106.01
Date: 07 OCT 2015	Sheet No.: A-106
Scale: 1/8" = 1'-0"	Page No.: 28 OF 30
File No.: A-106	





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Key Plan:

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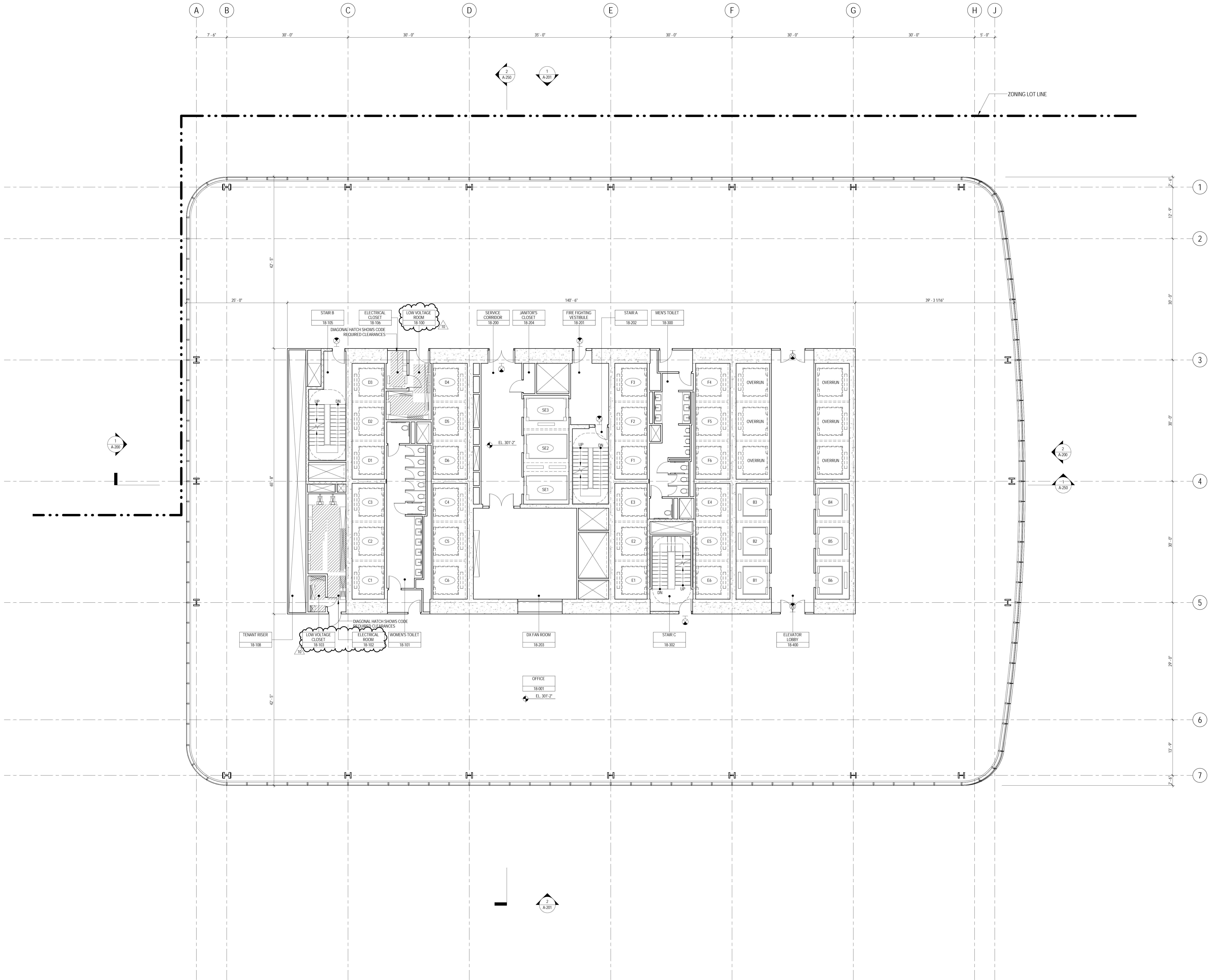
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Sheet Name:  
**LEVEL 17 FLOOR PLAN - LOW-RISE**

Project No.: 207150	B-SCAN Sheet No.: <b>A-117.01</b>
Date: 07 OCT 2015	Sheet No.: <b>A-117</b>
Scale: 1/8" = 1'-0"	Page No.: 29 OF 30
File No.: A-117	





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Key Plan:

33RD STREET  
DYER AVENUE  
31ST STREET  
9TH AVENUE

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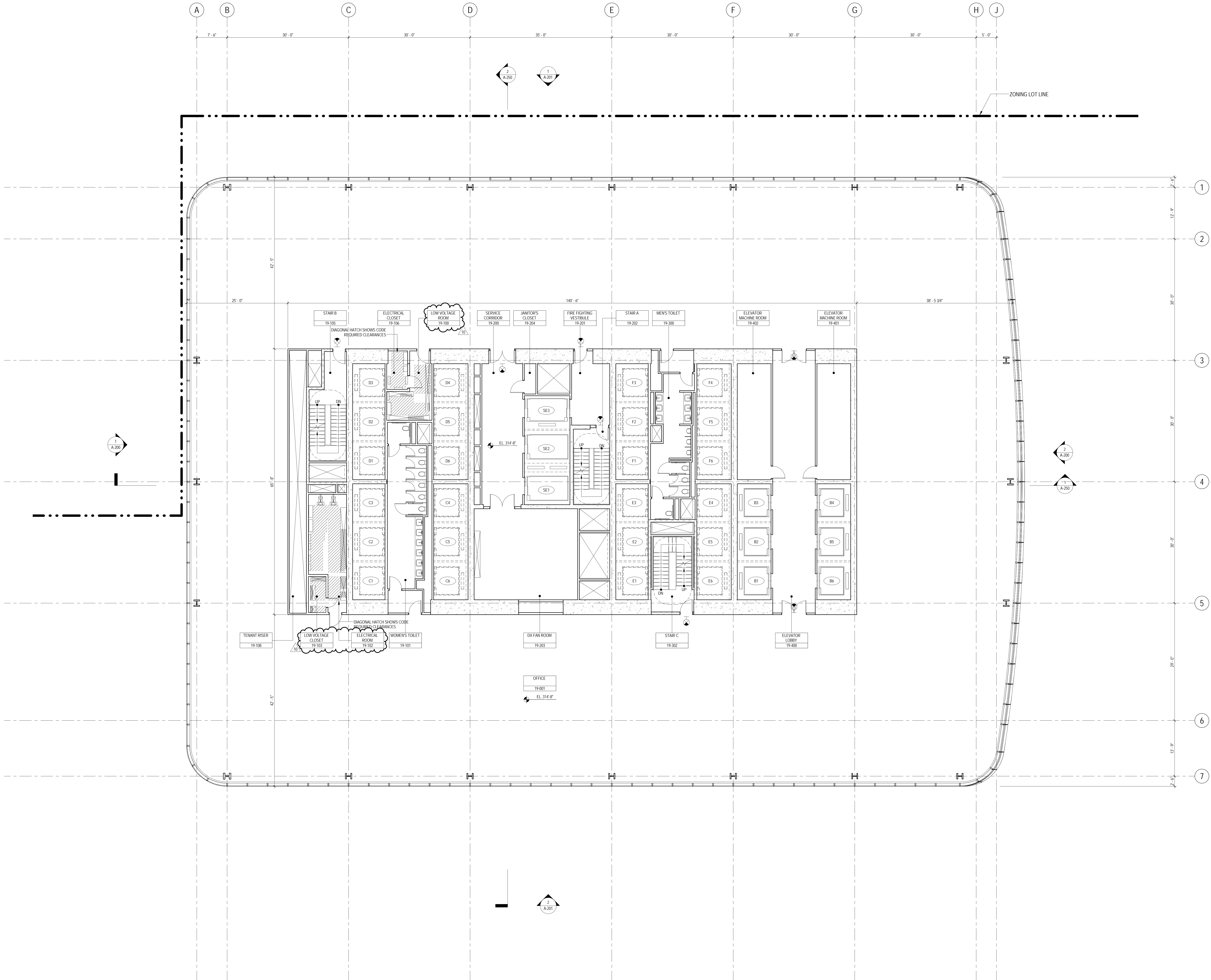
No. Date Description  
Sheet Name:

**LEVEL 18 FLOOR  
PLAN - LOW-RISE  
OVERRUN**

Project No.: 207150  
Date: 07 OCT 2015  
Scale: 1/8" = 1'-0"  
File No.: A-118

B-SCAN Sheet No.:  
**A-118.01**  
Sheet No.:  
**A-118**  
Page No.: 30 OF 30





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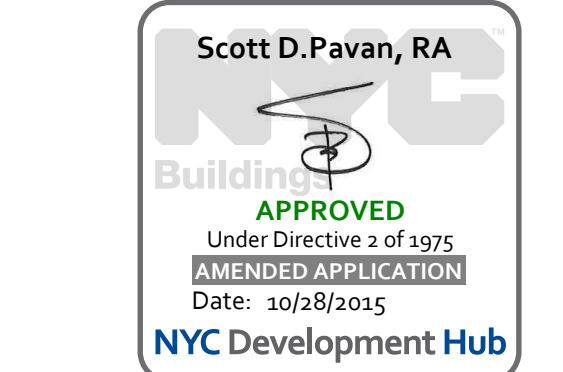
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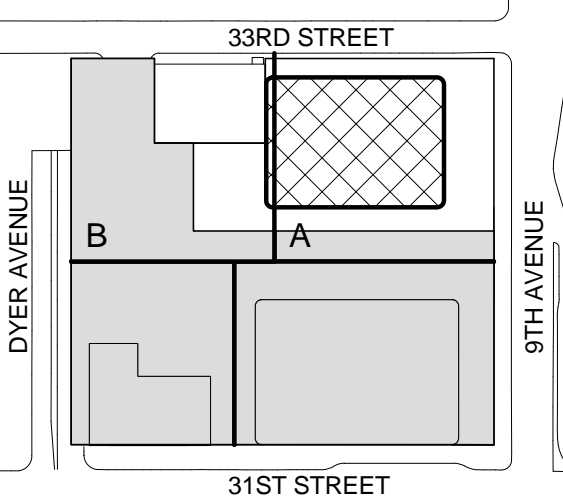
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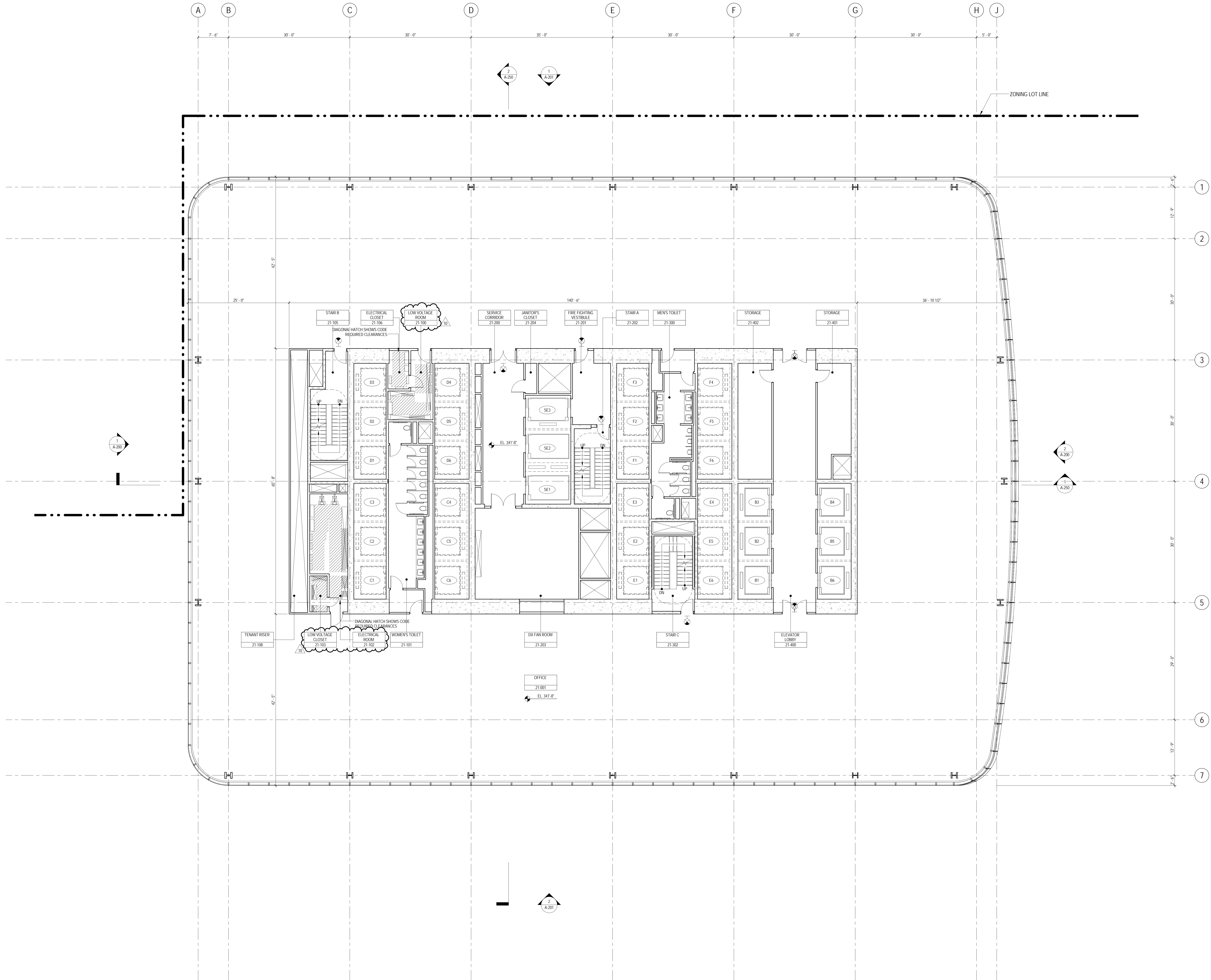
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**LEVEL 19-20  
FLOOR PLAN -  
LOW-RISE EMR**

Project No.: 207150  
Date: 07 OCT 2015  
Scale: 1/8" = 1'-0"  
File No.: A-119

B-SCAN Sheet No.:  
**A-119.01**  
Sheet No.:  
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Page No.: 31 OF 30





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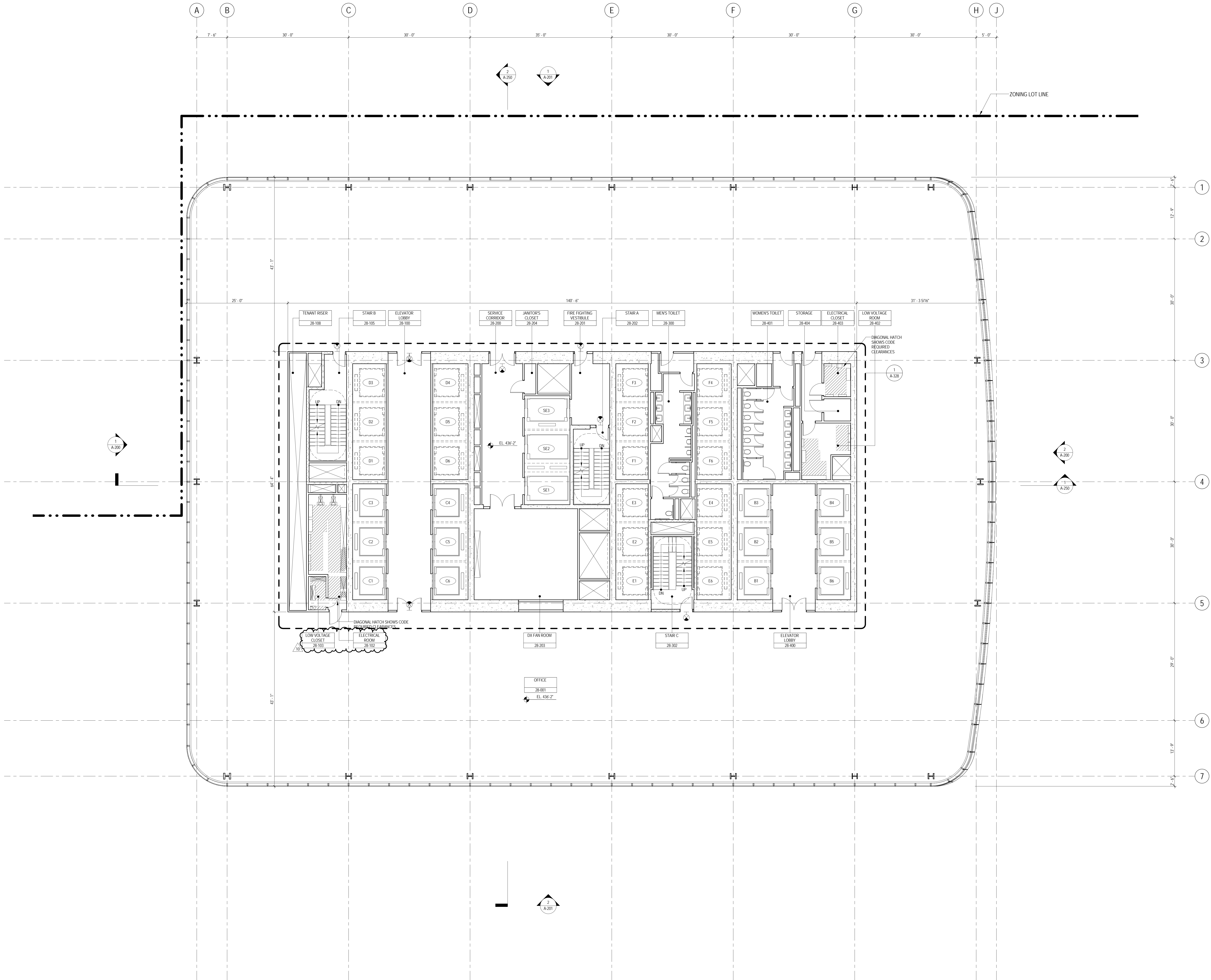
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B-SCAN Sheet No.: A-121.01  
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LEVEL 21-27  
FLOOR PLAN -  
TYPICAL  
LOW-RISE





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3. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. C-006.
4. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
5. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS. FOR DOOR HARDWARE, SPECIFICATION SEE TECHNICAL SPECIFICATION SECTION 051010.
6. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
7. ALL PARTITIONS SHALL BE TYPE DR, UNO.
8. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF RCP IS NOT PROVIDED SEE MEPPH PASCITEL SERVICE DRAWINGS FOR LOCATIONS OR ALL CEILING MOUNTED SERVICES.
9. FOR STRUCTURAL COLUMNS, EDGE OF SLAB AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
10. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
11. REFER TO MEPPH DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION ROOM, RISER AND EQUIPMENT DESIGNATIONS.
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650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8

Key Plan:

33RD STREET  
DYER AVENUE  
31ST STREET  
9TH AVENUE

Seal & Signature

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3/ 15 NOV 2013 ISSUED FOR 50% PROGRESS PRICING  
2/ 12 JUL 2013 ISSUED FOR 90% DESIGN DEVELOPMENT  
1/ 16 MAR 2012 ISSUED FOR RECONCILIATION

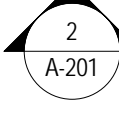
No. Date Description  
Sheet Name:

LEVEL 28 FLOOR  
PLAN - LOW-RISE  
& MID-RISE

Project No.: 207150  
Date: 07 OCT 2015  
Scale: 1/8" = 1'-0"  
File No.: A-128

B-SCAN Sheet No.: A-128.01  
Sheet No.: A-128  
Page No.: 33 OF 30

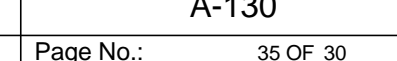




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|------------------------|--|
| Project No.:<br>207120 | B-SCAN Sheet No.:<br><br><b>A-129.01</b> |
| Date:<br>07 OCT 2015   | Sheet No.:<br><br><b>A-129</b>           |
| Scale:<br>1/8" = 1'-0" |  |
| File No.:<br>A-129     | Page No.:<br>34 OF 30                    |



1. ALL BUILDING ELEVATIONS (FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (WAB88).
2. FOR GENERAL NOTES, DRAWING DEPARTMENT NOTES, AND/OR FIELD NOTES, SEE WORK NOTES REFER TO SHEET NO. G-05.
3. FOR ARCHITECTURAL ABBREVIATIONS, REFERENCE TO SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS LEGEND ON SHEET G-06.
4. FOR ROOM FINISH SCHEDULE SEE A-70 SERIES DRAWINGS.
5. FOR DOOR SCHEDULE SEE A-70 SERIES DRAWINGS.
6. FOR FLOOR HARDWARE SPECIFICATION SEE TECHNICAL SPECIFICATIONS BUILDING DIVISION.
7. FOR PARTITION TYPES SEE A-70 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE UNO.
9. IF REQUIRED CEILING LINES SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPP/FACILITY SERVICE DRAWINGS FOR LOCATIONS AND TYPES OF BUILDING RIGGING.
10. FOR STRUCTURAL COLUMNS, EVIDENCE OF SLAB AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND NOTATIONS.
12. REFER TO MEPP/DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION, RISER AND EQUIPMENT DESIGNATIONS.
13. FOR PROJECT WORK POINTS REFER TO A-600 SERIES DRAWINGS.
14. EXISTING DIMENSIONS AND CONDITIONS FOR THE EXISTING BUILDING ARE INDICATED BY CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCY BETWEEN THE FIELD MEASUREMENTS AND THE DOCUMENTS ARE TO BE REPORTED TO ARCHITECT OF RECORD.
15. THE PROJECT MASTER LIST HAS AN APPLICATION: SIGNATURE AND DATE OF THE ARCHITECT OF RECORD. THIS IS THE 2008 NEW YORK CITY BUILDING CODE. REFER TO THE 2008 NYC EBC FOR MORE INFORMATION.  
2014 FOR SEISMIC LOAD DESIGN PARAMETERS



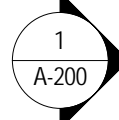












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2. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND NOTES TO THE WORK, NOTES REFER TO SHEET NO. 01
3. FOR ARCHITECTURAL ABREVIATIONS, LEGEND OF MATERIALS, FINISHES, AND MOUNTING HEIGHTS REFER TO SHEET NO. 02
4. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS
5. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS
6. FOR WINDOW SCHEDULE SEE A-700 SERIES DRAWINGS. SEE TECHNICAL SPECIFICATION SECTION 08700.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS
8. ALL PARTITIONS SHALL BE TYPE DR, DR
9. IF NOT SPECIFIED CEILING FANS SEE A-400 SERIES DRAWINGS. IF FAN IS NOT PROVIDED SEE MEPPAFACE-CTF SERVICE DRAWINGS FOR LOCATIONS AND TYPES OF FANS
10. FOR STRUCTURAL, CURB, EDGE OF SLAB, AND CORNER WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO
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15. THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN REQUIREMENTS FOR SECTION 17000.20, 2014 FOR NEW YORK CITY BUILDING CODE. REFER TO THE 2014 SEISMIC DESIGN REQUIREMENTS FOR SECTION 17000.20, 2014 FOR SEISMIC DESIGN PARAMETERS



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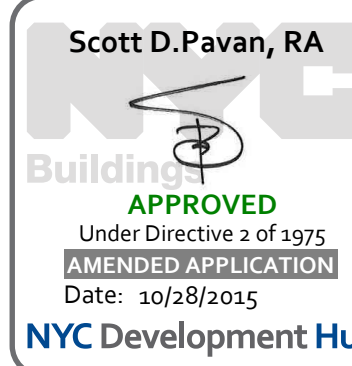
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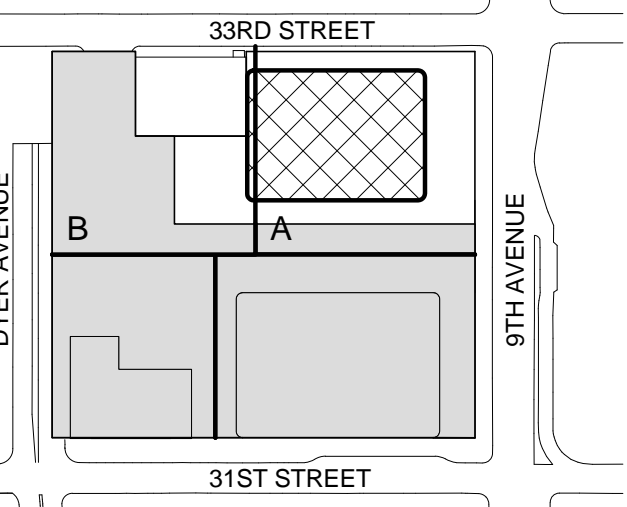
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 Ontario, Canada N1K 1B8



by Plan:



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 Date & Signature:



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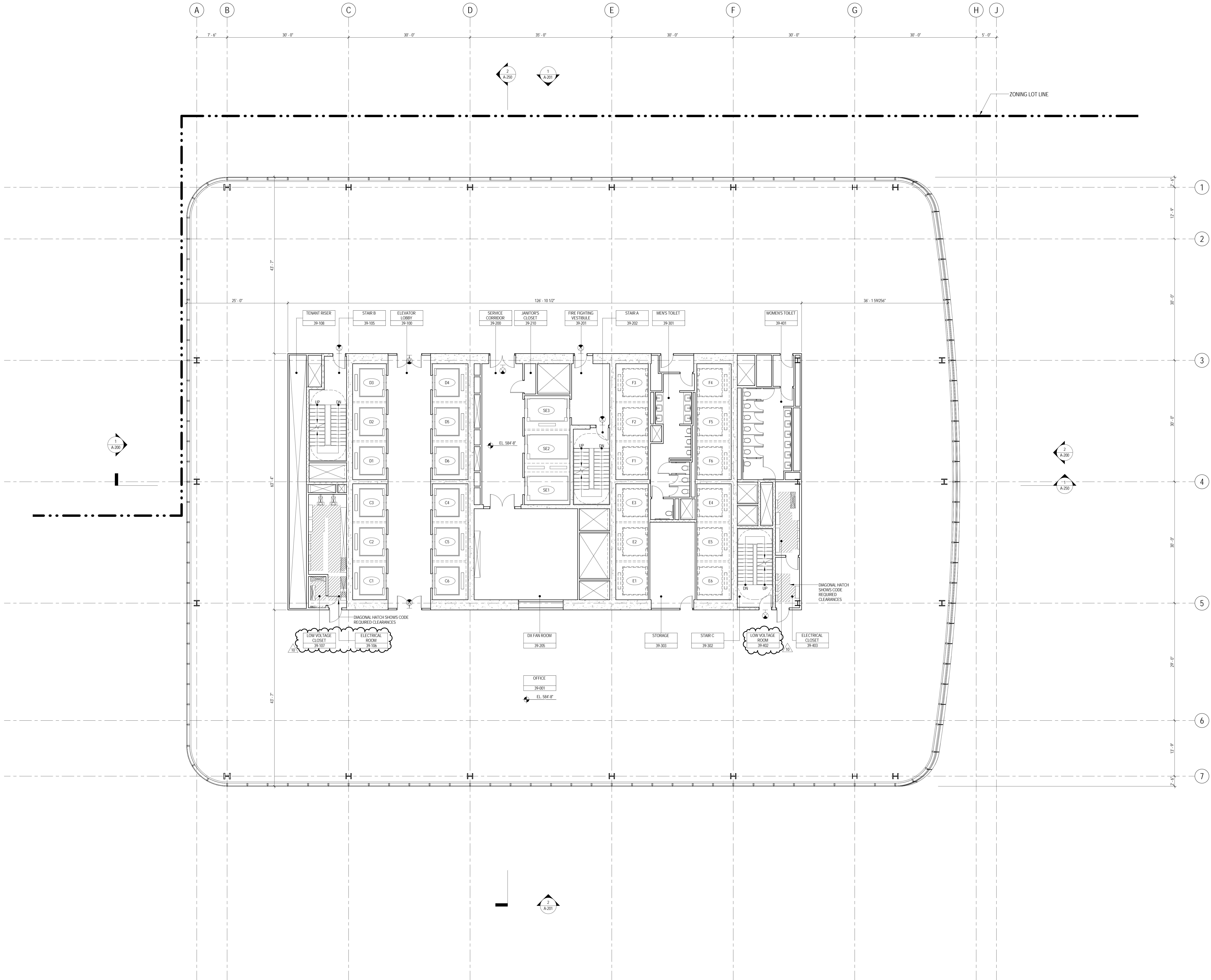
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2	12 JUL 2013	ISSUED FOR 50% DESIGN DEVELOPMENT
1	15 MAR 2013	ISSUED FOR RECONCILIATION
No.	Date	Description

Sheet Name:

LEVEL 33-38  
FLOOR PLAN -  
TYPICAL  
MID-RISE

Project No.: 207120	B-SCAN Sheet No.: <b>A-133.01</b>
Date: 07 OCT 2015	Sheet No.: <b>A-133</b>
Scale: 1/8" = 1'-0"	
File No.: A-133	Page No.: 38 OF 30





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4. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
5. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS. FOR DOOR HARDWARE SPECIFICATION SEE TECHNICAL SPECIFICATION SECTION 08710.
6. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
7. ALL PARTITIONS SHALL BE TYPE DR UNO.
8. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF RCP IS NOT PROVIDED SEE MEPPH PAGE CTEL. SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING WALL MOUNTED DEVICES.
9. FOR STRUCTURAL COLUMNS, EDGE OF SLAB AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
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14. THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN PROVISIONS INDICATED IN SECTION BC 1910 OF THE 2008 NEW YORK CITY BUILDING CODE. REFER TO THE STRUCTURAL CALCULATION BOOK ISSUED ON JUNE 20, 2014 FOR SEISMIC LOAD DESIGN PARAMETERS.



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250 State Street #F1, North Haven, CT 06473

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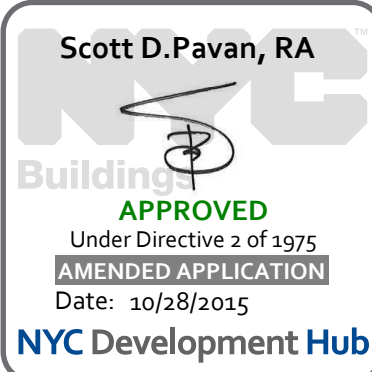
Acoustical Consultant  
Cerami & Associates  
404 Fifth Avenue #8, New York, NY 10016

Vibration Consultant  
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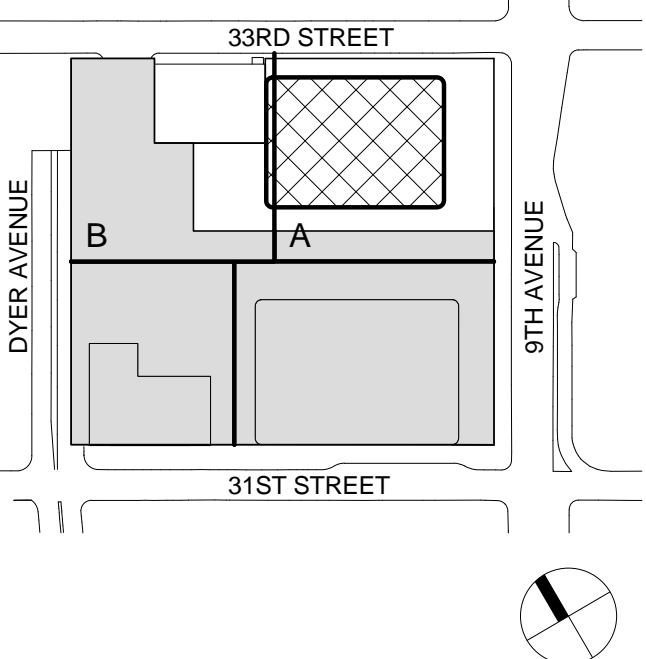
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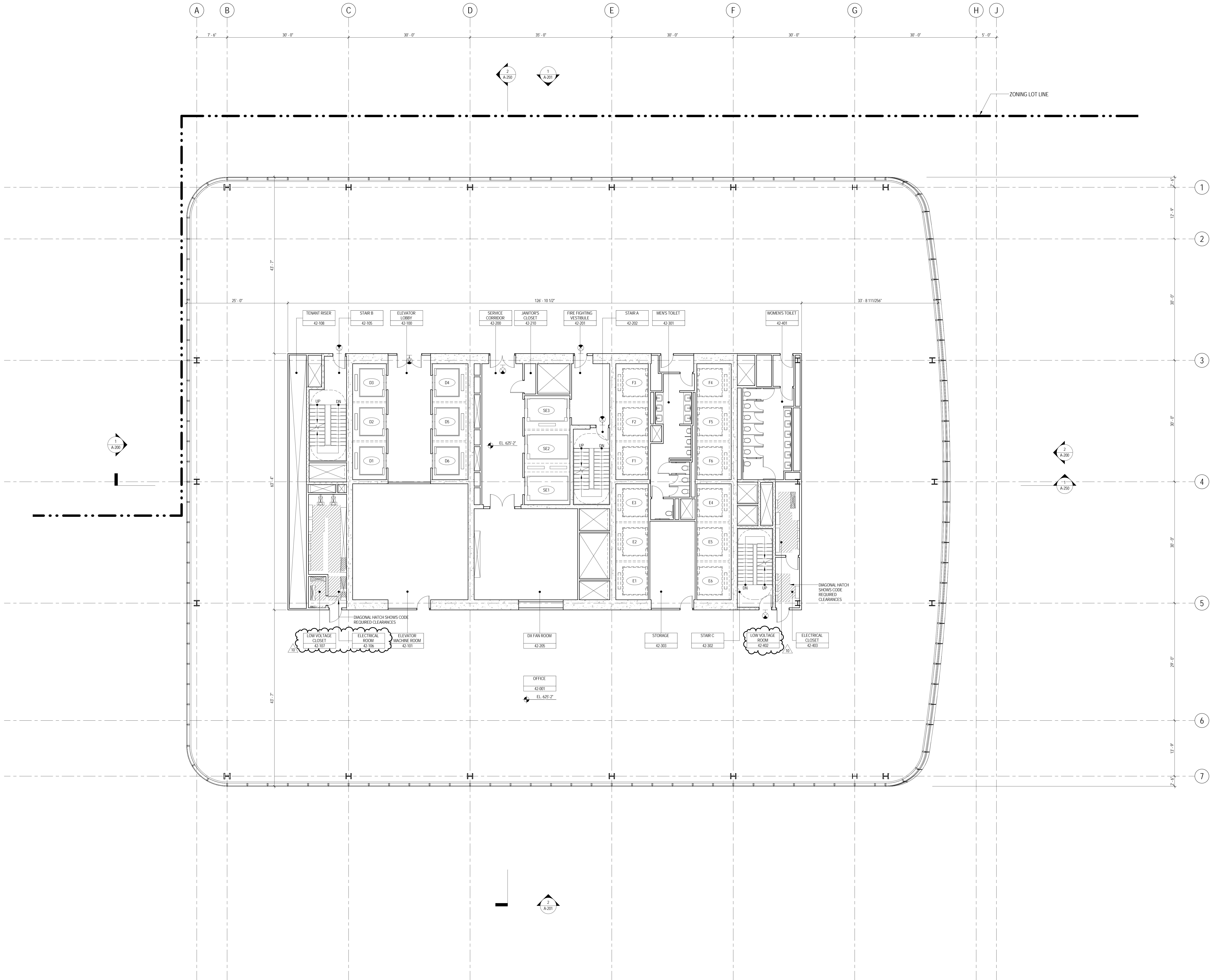
Key Plan:











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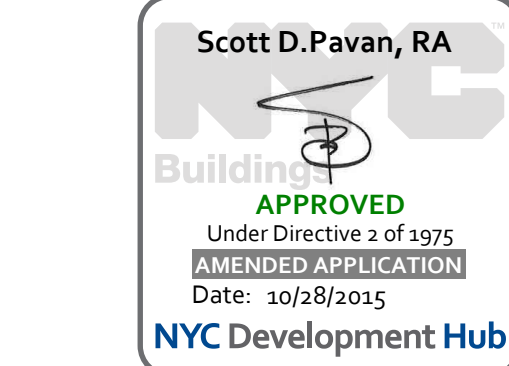
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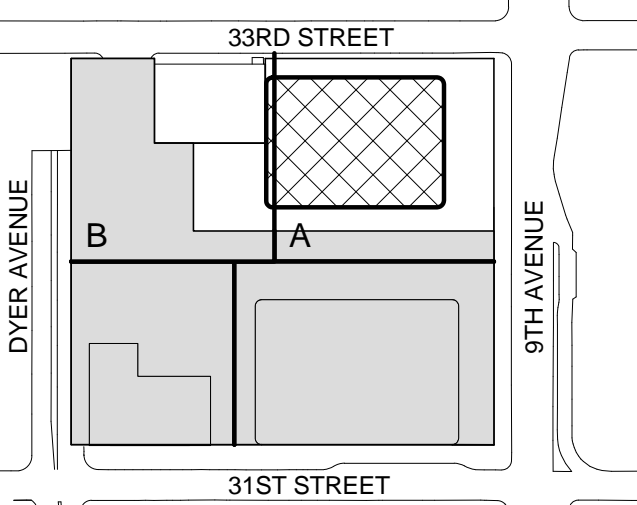
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Key Plan:



Seal & Signature



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1	19 MAR 2013	ISSUED FOR RECONCILIATION

No. Date Description  
Sheet Name:

**LEVEL 42 FLOOR  
PLAN - MID-RISE  
EMR**

Project No.: 207150	B-SCAN Sheet No.: A-142.01
Date: 07 OCT 2015	Sheet No.: A-142
Scale: 1/8" = 1'-0"	Page No.: 41 OF 30
File No.: A-142	

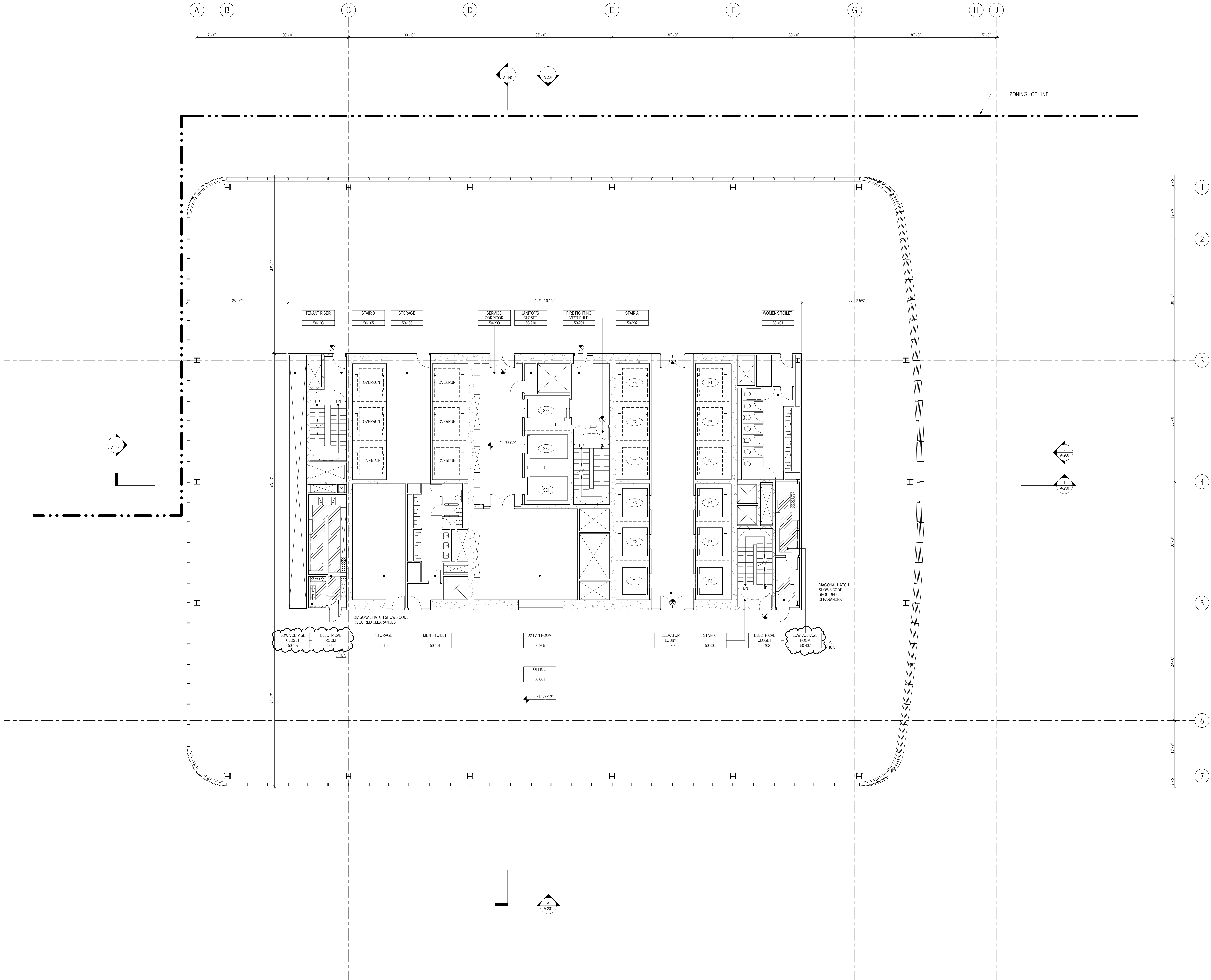












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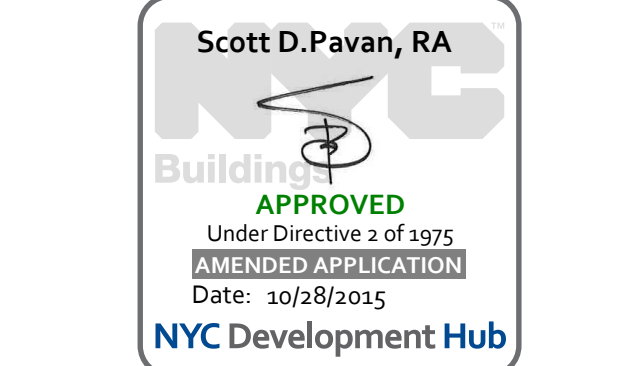
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215 West 40th Street, 15th Floor, New York, NY 10018

Facade Maintenance Consultant  
Entek Engineering LLC  
166 Ames Street, Hackensack, NJ 07601

Wind Tunnel Consultant  
Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph Ontario, Canada N1K 1B8



Key Plan:



Seal & Signature



Warning: It is a violation of the New York State Architecture Law, §16-050 for any person, unless they are acting under the direction of a Licensed Architect, to alter this item in any way.

10	07 OCT 2015	ISSUED FOR BUILDING PERMIT
9	21 AUG 2015	ISSUED FOR BUILDING PERMIT
8	1 APR 2015	ISSUED FOR BUILDING PERMIT
7	25 FEB 2015	ISSUED FOR BUILDING PERMIT
6	20 JUN 2014	ISSUED FOR FOUNDATION BID
5	20 JUN 2014	ISSUED FOR FOUNDATION PERMIT
4	20 DEC 2013	ISSUED FOR FOUNDATION PERMIT
3	15 NOV 2013	ISSUED FOR 50% PROGRESS PRICING
2	12 JUL 2013	ISSUED FOR 90% DESIGN DEVELOPMENT
1	19 MAR 2012	ISSUED FOR RECONCILIATION

No. Date Description

Sheet Name:

**LEVEL 50-51  
FLOOR PLAN -  
HIGH-RISE  
OVERRUN**

Project No.: 207150	B-SCAN Sheet No.: A-150.01
Date: 07 OCT 2015	Sheet No.: A-150
Scale: 1/8" = 1'-0"	Page No.: 44 OF 30
File No.: A-150	

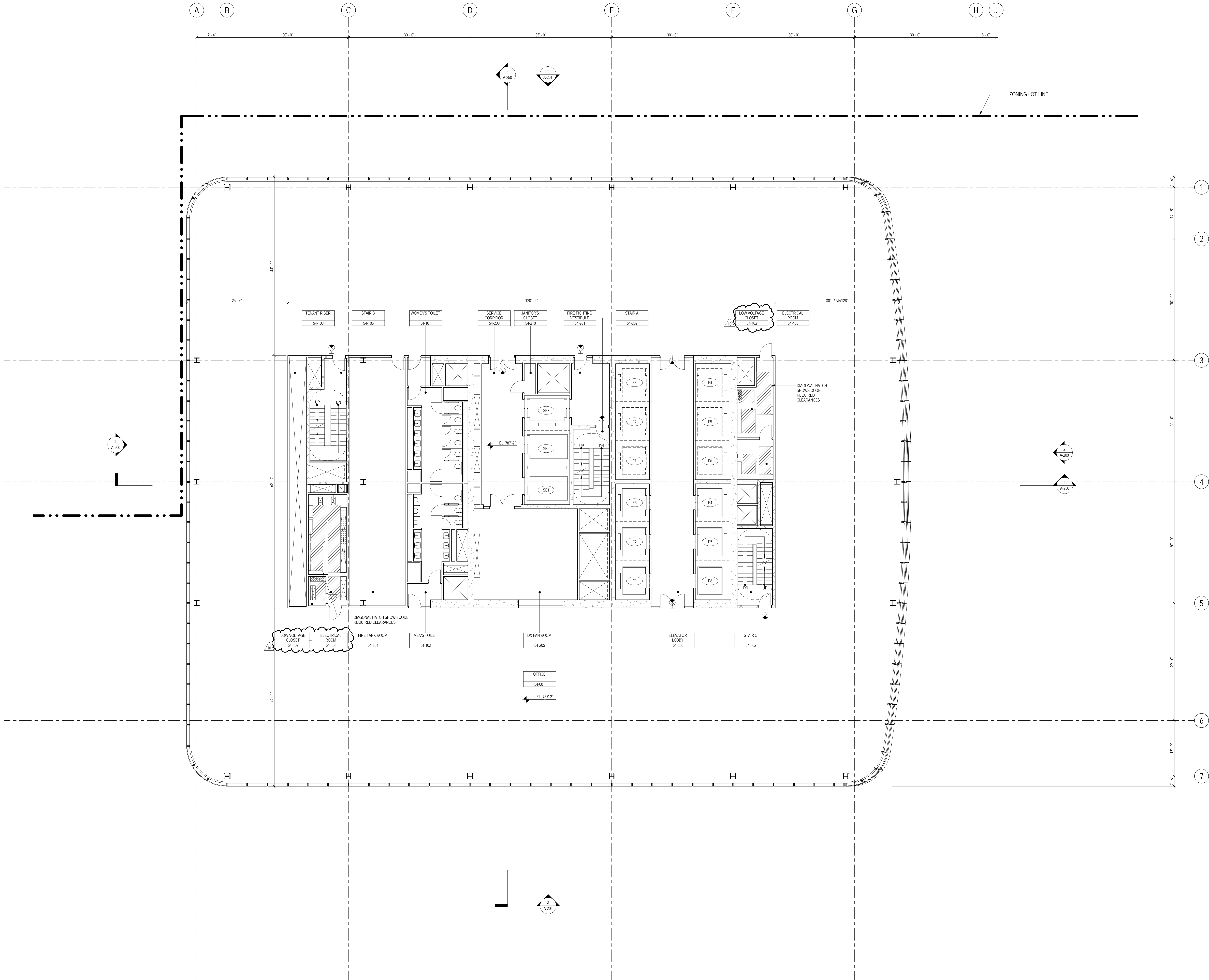












## SHEET NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
2. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-005.
3. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-006.
4. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
5. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS. FOR DOOR HARDWARE SPECIFICATION SEE TECHNICAL SPECIFICATION SECTION 081010.
6. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
7. ALL PARTITIONS SHALL BE TYPE DR, UNO.
8. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF RCP IS NOT PROVIDED SEE MEPP FASCICLEL SERVICE DRAWINGS FOR LOCATIONS OR ALL CEILING MOUNTED DEVICES.
9. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
10. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
11. REFER TO MEPP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION ROOM, RISER AND EQUIPMENT DESIGNATIONS.
12. FOR PROJECT WORK POINT REFER TO A-000 SERIES DRAWINGS.
13. EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT LOFT BUILDING MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
14. THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN PROVISIONS INDICATED IN SECTION BC 1910 OF THE 2008 NEW YORK CITY BUILDING CODE. REFER TO THE STRUCTURAL CALCULATION BOOK ISSUED ON JUNE 20, 2014 FOR SEISMIC LOAD DESIGN PARAMETERS.



**MANHATTAN WEST:  
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375 Ninth Avenue, New York, NY 10001  
Client

**Brookfield**  
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250 Vesey Street, 15th Floor, New York, NY 10021

Architecture/Structural Engineering  
**SOM**  
Skidmore, Owings & Merrill LLP  
14 Wall Street, New York, NY 10005

Civil Engineering  
Philip Habib & Associates  
102 Madison Avenue #11, New York, NY 10016

MEP Engineering  
Jaros Baum & Bolles  
80 Pine Street, New York, NY 10005

Vertical Transportation  
Edgett Williams Consulting Group, Inc.  
102 East Bluffside Ave, Suite 1, Mill Valley, California 94041

Sustainable Design  
Viridian Energy & Environmental  
50 Washington Street, Newark, CT 06854

Geotechnical Engineering  
Mueser Rutledge Consulting Engineers  
14 Penn Plaza, 225 W. 34th Street, New York, NY 10122

Landscape Consultant  
Field Operations  
475 10th Avenue, New York, NY 10018

Security Consultant  
Ducibella, Ventor & Santoro  
250 State Street #1, North Haven, CT 06473

Blast Consultant  
Weidinger Associates, Inc.  
40 Wall Street, New York, NY 10005

Acoustical Consultant  
Cerami & Associates  
404 Fifth Avenue #8, New York, NY 10016

Vibration Consultant  
Wilson, Uhrig & Associates, Inc.  
65 Broadway, Suite 401, New York, NY 10006

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Code Consultants Professional Engineers PC  
215 West 40th Street, 15th Floor, New York, NY 10018

Facade Maintenance Consultant  
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166 Ames Street, Hackensack, NJ 07601

Wind Tunnel Consultant  
Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8

APPROVED  
Under Directive s of 1995  
MAINTAINED REGISTRATION  
Date: 10/28/2015  
NYC Development Hub

Key Plan:  
33RD STREET  
DYER AVENUE  
31ST STREET  
9TH AVENUE

Seal & Signature  
Warning: It is a violation of the New York State Architecture Law, §160.5(b) for any person, unless they are acting under the direction of a Licensed Architect, to alter this item in any way.

10/ 07 OCT 2015 ISSUED FOR BUILDING PERMIT  
9/ 21 AUG 2015 ISSUED FOR BUILDING PERMIT  
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3/ 15 NOV 2013 ISSUED FOR 50% PROGRESS PRICING  
2/ 12 JUL 2013 ISSUED FOR 90% DESIGN DEVELOPMENT  
1/ 19 MAR 2012 ISSUED FOR RECONCILIATION

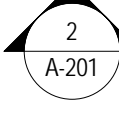
No. Date Description  
Sheet Name:

LEVEL 54 FLOOR  
PLAN - HIGH-RISE  
WATER TANK

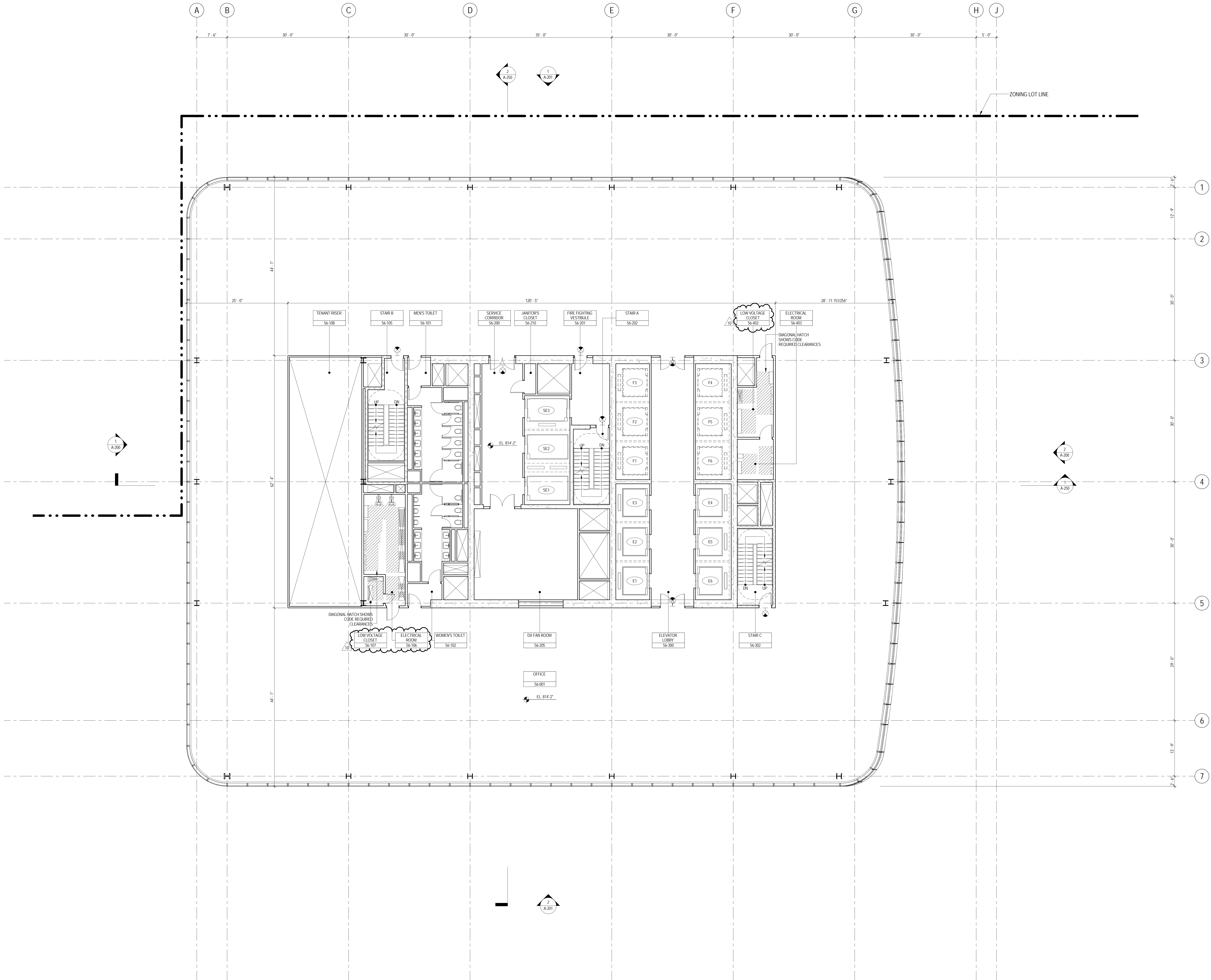
Project No.: 207150  
Date: 07 OCT 2015  
Scale: 1/8" = 1'-0"  
File No.: A-154

B-SCAN Sheet No.: A-154.01  
Sheet No.: A-154  
Page No.: 47 OF 30









SHEET NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
2. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-005.
3. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-005.
4. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
5. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS. FOR DOOR HARDWARE SPECIFICATION SEE TECHNICAL SPECIFICATION SECTION B0700.
6. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
7. ALL PARTITIONS SHALL BE TYPE DR UNO.
8. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF RCP IS NOT PROVIDED SEE MEPPH PAGE CITE. SERVICE DRAWINGS FOR LOCATIONS OR ALL CEILING WALL MOUNTED SERVICES.
9. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
10. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
11. REFER TO MEPPH DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION ROOM, RISER AND EQUIPMENT DESIGNATIONS.
12. FOR PROJECT WORK POINT REFER TO A-000 SERIES DRAWINGS.
13. EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT LOFT BUILDING MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
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APPROVED  
Under Directive s of 1935  
MANHATTAN WEST  
Date: 10/28/2015  
NYC Development Hub

Key Plan:  
33RD STREET  
DYER AVENUE  
31ST STREET  
9TH AVENUE

Seal & Signature  
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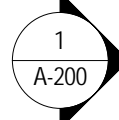
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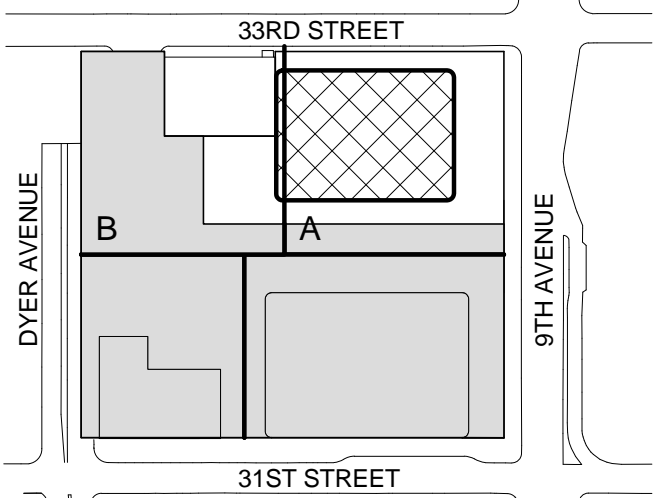






2. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORMAL AMERICAN VERTICAL DATED 1988 (NAV88)
3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES AND NOTES OF THE WORK NOTES REFER TO SHEET NO. G-05.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-06.
5. FOR ROOM/FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.  
FOR DOOR HARDWARE SPECIFICATION SEE TECHNICAL SPECIFICATION SECTION 08710.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE IV, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF RCP IS NOT PROVIDED SEE A-600 SERIES DRAWINGS FOR LOCATIONS OR ALL CEILING WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORNER POINTS SEE STRUCTURAL, SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEPP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, AND PLUMBING, FIRE PROTECTION, RER, AND EQUIPMENT DESIGNATIONS.

Ontario, Canada N1K 1B8



Seal &amp; Signature:



**Warning:** It is a violation of the New York State Architecture Law, §69.5(b) for any person, unless they are acting under the direction of a Licensed Architect, to alter this item in any way.

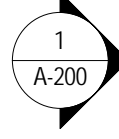
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9	21 AUG 2015	ISSUED FOR BUILDING PERMIT
8	1 APR 2015	ISSUED FOR BUILDING PERMIT
7	25 FEB 2015	ISSUED FOR BUILDING PERMIT
6	20 JUN 2014	ISSUED FOR FOUNDATION BID
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4	20 DEC 2013	ISSUED FOR FOUNDATION PERMIT
3	15 NOV 2013	ISSUED FOR DD PROGRESS PRICING
2	12 JUL 2013	ISSUED FOR 50% DESIGN DEVELOPMENT
1	15 MAR 2013	ISSUED FOR RECONCILIATION

Sheet Name:

LEVEL 59 FLOOR  
PLAN - HIGH-RISE

Project No.: 207120	B-SCAN Sheet No.:  <b>A-159.01</b>
Date: 07 OCT 2015	Sheet No.:  <b>A-159</b>
Scale: 1/8" = 1'-0"	
File No.: 4-159	Page No.: 51 OF 30





1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM (NAD 83) (NAD83)
2. FOR GENERAL NOTES: BUILDING DEPARTMENT NOTES, SPECIFICATIONS, AND SCHEDULES OF THE CITY OF NEW YORK REFER TO THE WORK NOTES REFER TO SHEET NO. 0-0.
3. FOR ARCHITECTURAL ABREVIATIONS, LEGENDS OF SYMBOLS & MATERIALS, AND MOUNTAIN HEIGHTS REFER TO THE CITY OF NEW YORK SPECIFICATIONS.
4. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS
5. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS
6. FOR DOOR/HORROR WINDOW SPECIFICATION SEE TECHNICAL SPECIFICATIONS SECTION 05-00
7. FOR PARTITIONS SEE A-700 SERIES DRAWINGS
8. ALL PARTITION TYPES SHALL BE TYPE DS UNO
9. FOR REFLECTED GLASS PANELS SEE A-600 SERIES DRAWINGS. IF PCP IS NOT PROVIDED SEE MEMPH ASPECTS, SERVICE DRAWINGS FOR LOCATIONS AND MATERIALS SECTION 05-00
10. FOR STRUCTURAL CONDITIONS: EDGE OF SLAB AND CORNER POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO
11. FOR STRUCTURAL CONDITIONS: EDGE OF SLAB AND CORNER POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO
12. FOR MEPP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, PLUMBING, AND MECHANICAL ROOM RISER AND EQUIPMENT DESIGNATIONS.
13. FOR PROJECT WORK POINTS REFER TO A-000 SERIES DRAWINGS.
14. EXISTING DIMENSIONS AND CONDITIONS FOR THE PROJECT SHALL BE OBTAINED AND VERIFIED BEFORE COMMENCEMENT OF WORK AND ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THE DRAWINGS ARE TO BE REPORTED TO THE ARCHITECT OR RASCI.
15. THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN REQUIREMENTS OF THE CITY OF NEW YORK CITY BUILDING CODE, 2008 NEW YORK CITY BUILDING CODE, AND THE STRUCTURAL CALCULATION BOOK ISSUED ON JUNE 1, 2008.



Brookfield Place  
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SOM

**Skidmore, Owings & Merrill LLP**  
14 Wall Street, New York, NY 10005

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Philip Habib & Associates  
Madison Avenue #11, New York, NY

MEP Engineering

Pine Street, New York, NY 1000

**Williams Consulting Group, Inc.**  
 10000 Wilshire Ave. Suite 1, Mil Valley, California 94945

## Sustainable Design

Washington Street, Norwalk, CT 06854

**Rutledge Consulting Engineers**  
Penn Plaza, 225 W. 34th Street, New  
York, NY 10001

Landscape Consult

10th Avenue, New York, NY 10018

Security Consultant

ate Street #F1, North Haven, CT 0647

Leidinger Associates

Wall Street, New York, NY 10005

Cerami &amp; Associates

1000 AVENUE M, NEW YORK, NY 10019

son, Uhrig &amp; Associates, Inc.

Code Consultant

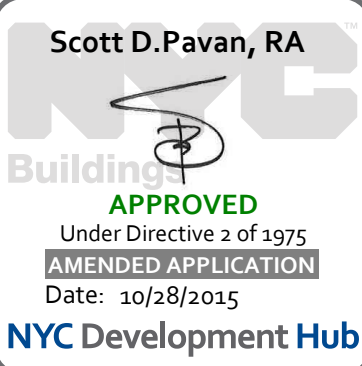
sultants Professional Engineers PC  
100th Street, 15th Floor, New York, NY 10019

Facade Maintenance Consultant

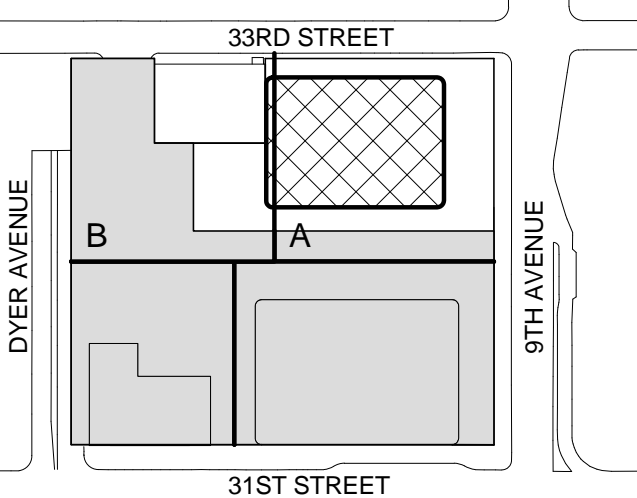
**Entek Engineering LLC**  
Ames Street, Hackensack, NJ 07601

Wind Tunnel Consultant

50 Woodlawn Road West, Guelph  
Ontario, Canada N1H 1A7



### Key Plans



Seal &amp; Signature



**Warning:** It is a violation of the New York State Architecture Law, §§9.5(b) for any person, unless they are acting under the direction of a Licensed Architect, to alter this item in any way.

10	07 OCT 2015	ISSUED FOR BUILDING PERMIT
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2	12 JUL 2013	ISSUED FOR 50% DESIGN DEVELOPMENT
1	15 MAR 2013	ISSUED FOR RECONCILIATION
No.	Date	Description

Sheet Name:

LEVEL 60-61  
FLOOR PLAN -  
HIGH-RISE  
OVERRUN

Project No.:  
207120

Date: 07 OCT 2015

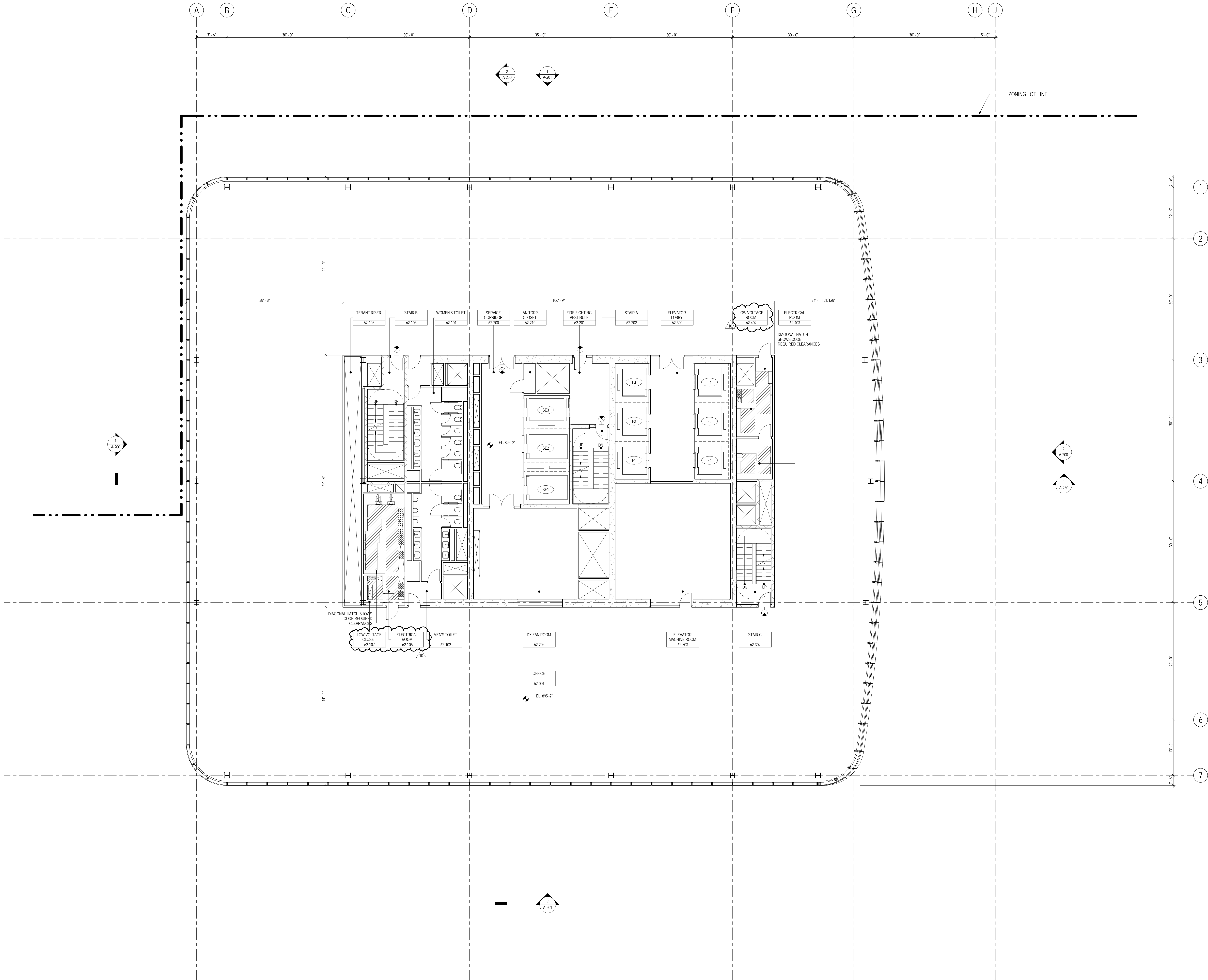
$$1/8^{\circ} = 1^{\circ}-0^{\circ}$$

B-SCAN Sheet

A-160.01

A-160





## SHEET NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
2. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-200.
3. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-200.
4. FOR ROOM FINISH SCHEDULE SEE A 700 SERIES DRAWINGS.
5. FOR DOOR SCHEDULE SEE A 700 SERIES DRAWINGS. FOR DOOR HARDWARE SPECIFICATION SEE TECHNICAL SPECIFICATION SECTION (B200).
6. FOR PARTITION TYPES SEE A 700 SERIES DRAWINGS.
7. ALL PARTITIONS SHALL BE TYPE DR, LINO.
8. FOR REFLECTED CEILING PLANS SEE A 600 SERIES DRAWINGS. IF RCP IS NOT PROVIDED SEE MEPP/PAGE/CITEL SERVICE DRAWINGS FOR LOCATIONS OR ALL CEILING/WALL MOUNTED SERVICES.
9. FOR STRUCTURAL COLUMNS, EDGE OF SLAB AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, LINO.
10. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
11. REFER TO MEPP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION ROOM, RISER AND EQUIPMENT DESIGNATIONS.
12. FOR PROJECT WORK POINT REFER TO A 000 SERIES DRAWINGS.
13. EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT LOFT BUILDING MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
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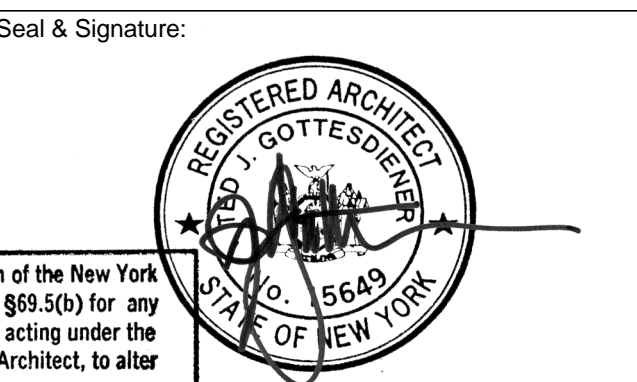
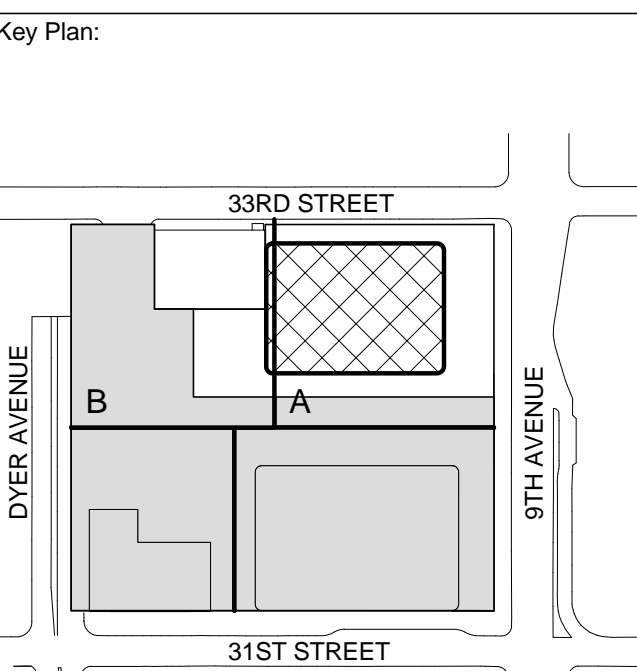
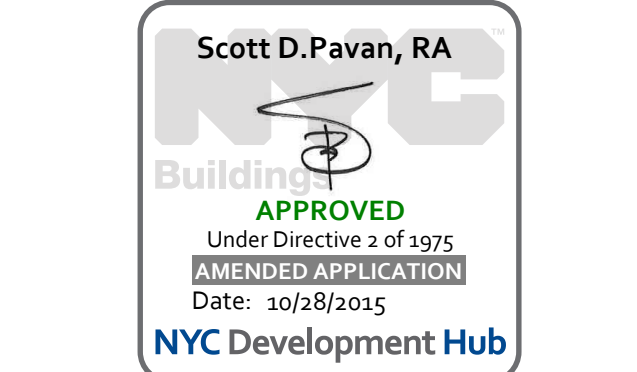
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404 Fifth Avenue #8, New York, NY 10016

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Code Consultants Professional Engineers PC  
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Facade Maintenance Consultant  
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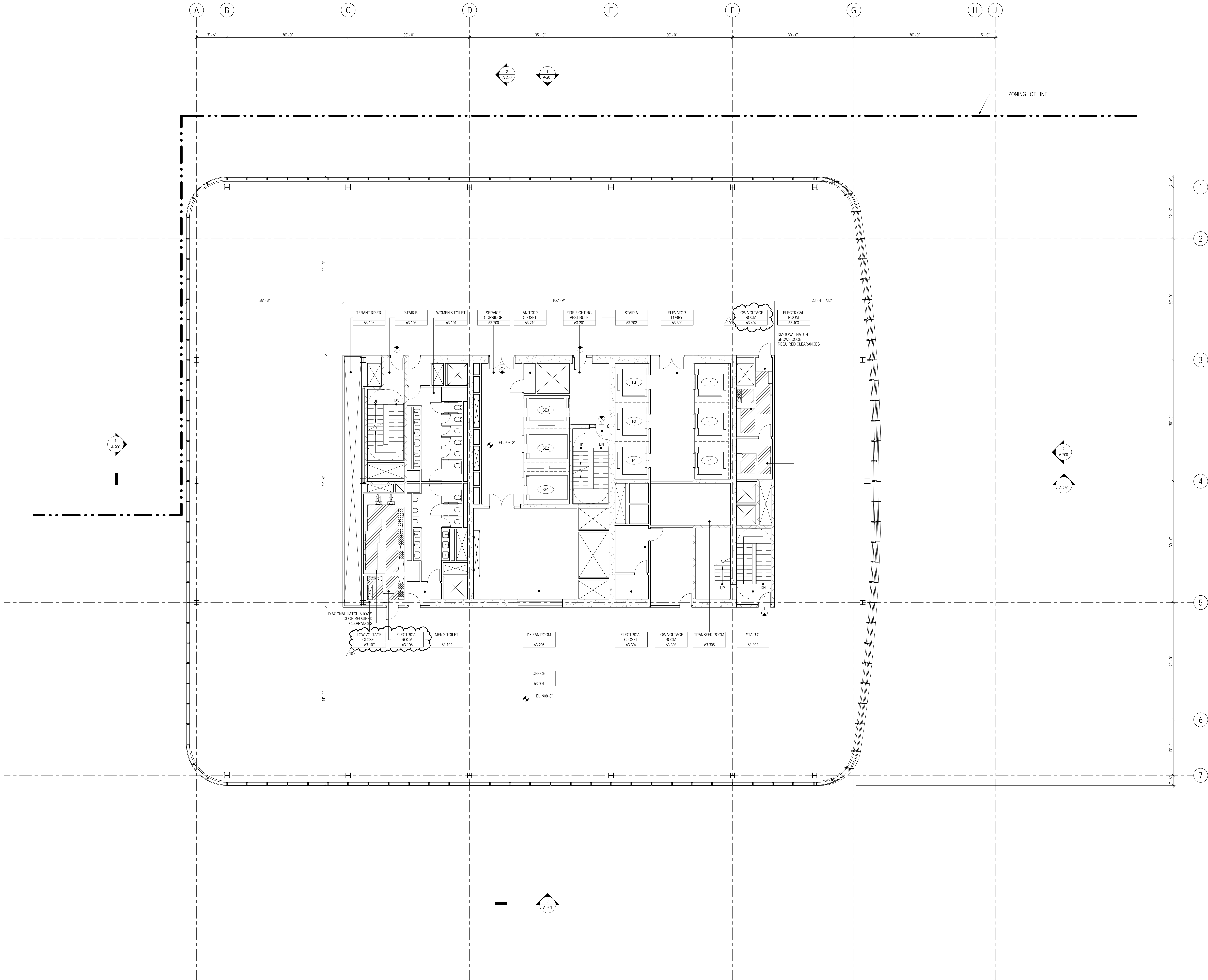
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9	21 AUG 2015	ISSUED FOR BUILDING PERMIT
8	1 APR 2015	ISSUED FOR BUILDING PERMIT
7	25 FEB 2015	ISSUED FOR BUILDING PERMIT
6	20 JUN 2014	ISSUED FOR FOUNDATION BID
5	20 JUN 2014	ISSUED FOR FOUNDATION PERMIT
4	20 DEC 2013	ISSUED FOR FOUNDATION PERMIT
3	15 NOV 2013	ISSUED FOR 50% PROGRESS PRICING
2	12 JUL 2013	ISSUED FOR 90% DESIGN DEVELOPMENT
1	18 MAR 2012	ISSUED FOR RECONCILIATION

No. Date Description  
Sheet Name:

**LEVEL 62 FLOOR  
PLAN - HIGH-RISE  
EMR**

Project No.: 207150	B-SCAN Sheet No.: A-162.01
Date: 07 OCT 2015	Sheet No.: A-162
Scale: 1/8" = 1'-0"	Page No.: 53 OF 30
File No.: A-162	





SHEET NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
2. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-005.
3. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-006.
4. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
5. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS. FOR DOOR HARDWARE SPECIFICATION SEE TECHNICAL SPECIFICATION SECTION 051000.
6. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
7. ALL PARTITIONS SHALL BE TYPE DR UNO.
8. FOR REFLECTED CEILING PLANS SEE A-800 SERIES DRAWINGS. IF RCP IS NOT PROVIDED SEE MEPP/FAC/CTE. SERVICE DRAWINGS FOR LOCATIONS OR ALL CEILING/WALL MOUNTED SERVICES.
9. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
10. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
11. REFER TO MEPP/FAC/CTE. SERVICE DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION ROOM, RISER AND EQUIPMENT DESIGNATIONS.
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14. THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN PROVISIONS INDICATED IN SECTION BC 1910 OF THE 2008 NEW YORK CITY BUILDING CODE. REFER TO THE STRUCTURAL CALCULATION BOOK ISSUED ON JUNE 20, 2014 FOR SEISMIC LOAD DESIGN PARAMETERS.



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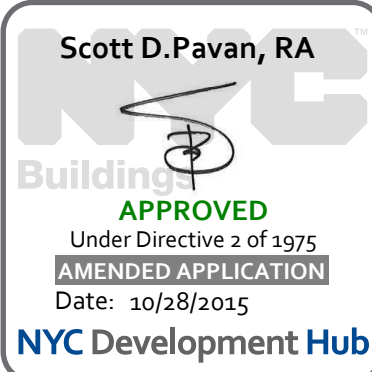
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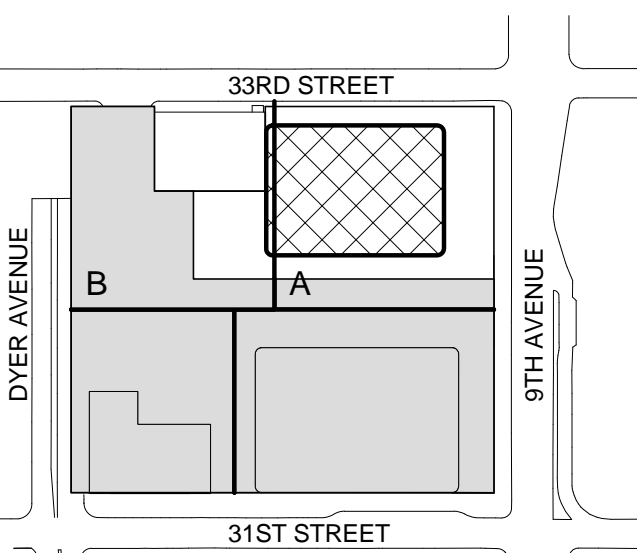
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1	19 MAR 2012	ISSUED FOR RECONCILIATION

No. Date Description

Sheet Name:

**LEVEL 63 FLOOR  
PLAN - HIGH-RISE**

Project No.:

207150

Date:

07 OCT 2015

Scale:

1/8" = 1'-0"

File No.:

A-163

B-SCAN Sheet No.:

A-163.01

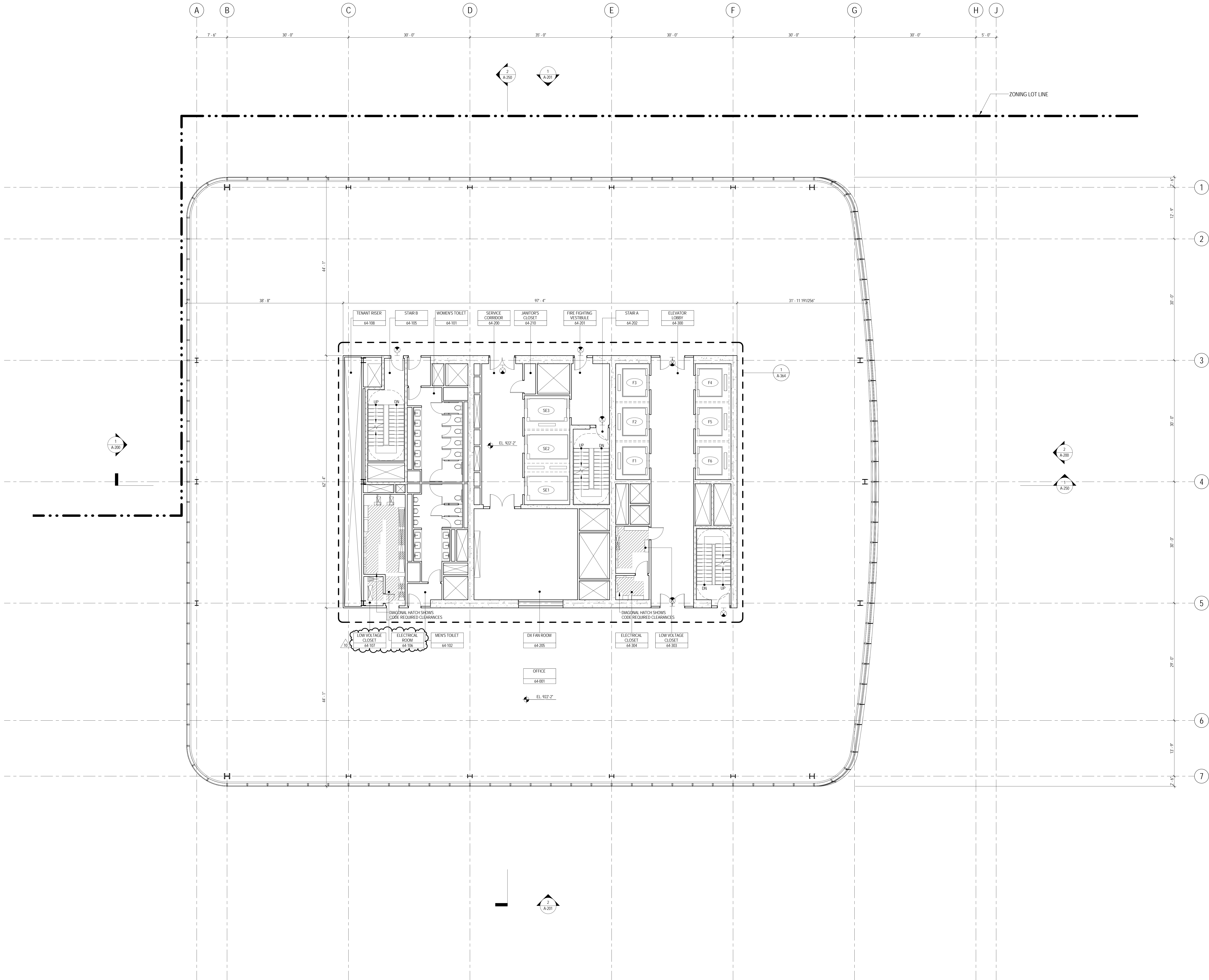
Sheet No.:

A-163

Page No.:

54 OF 30





SHEET NOTES

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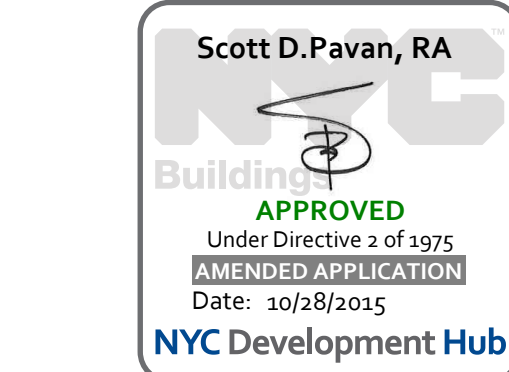
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Facade Maintenance Consultant

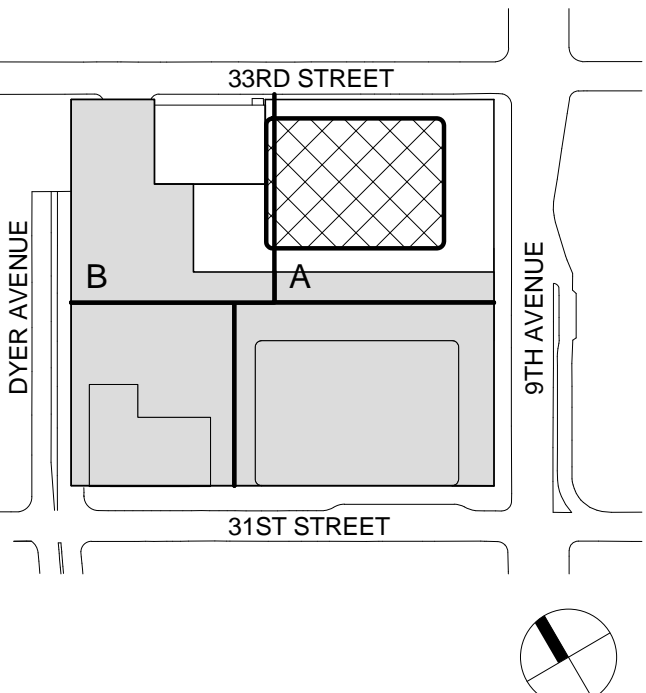
Entek Engineering LLC  
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Key Plan:



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1	18 MAR 2012	ISSUED FOR RECONCILIATION

No. Date Description

Sheet Name:

**LEVEL 64-67  
FLOOR PLAN -  
TYPICAL  
HIGH-RISE**

Project No.:

207150

Date:

07 OCT 2015

Scale:

1/8" = 1'-0"

File No.:

A-164

B-SCAN Sheet No.:

A-164.01

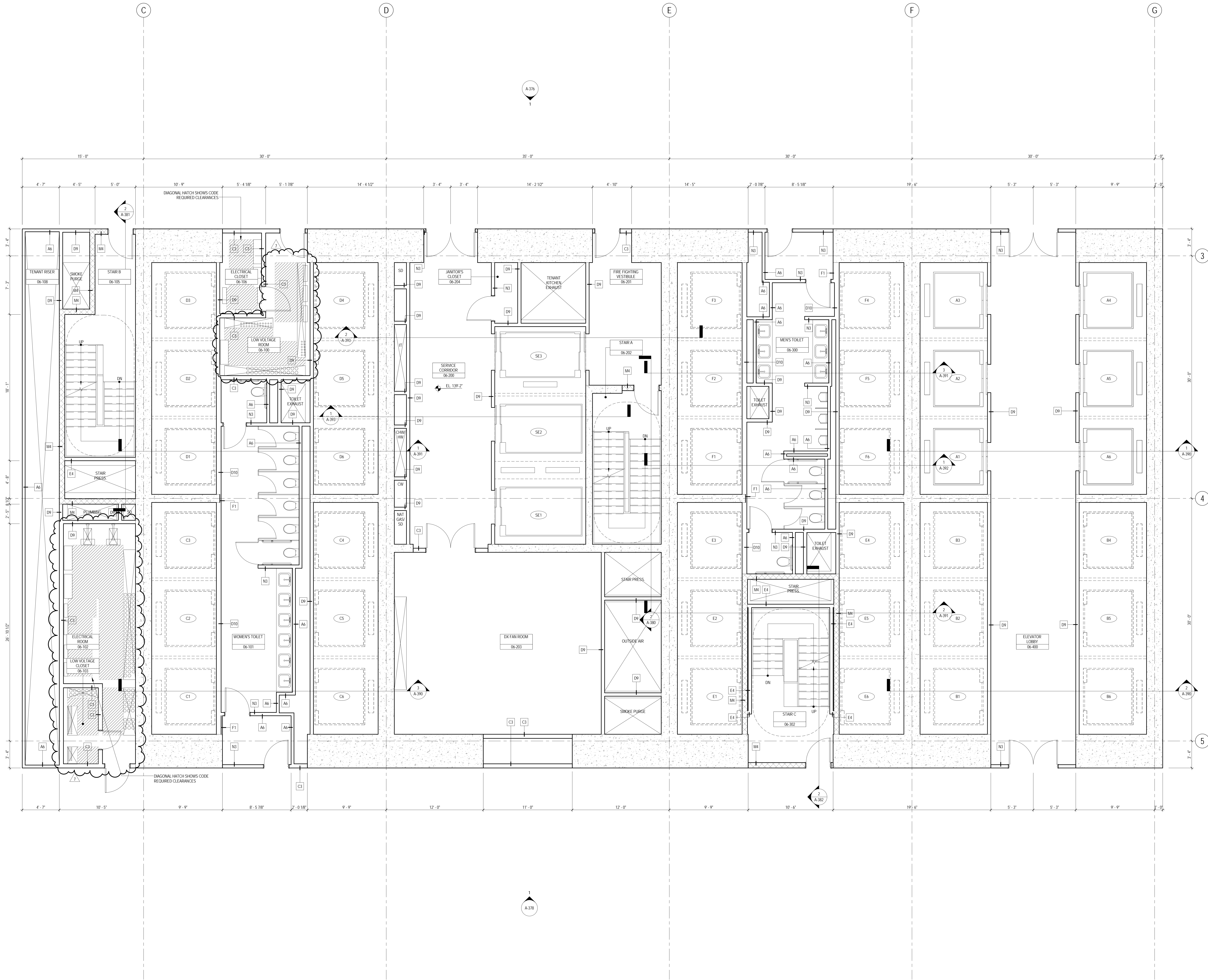
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A-164

Page No.:

58 OF 30





## SHEET NOTES

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5. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS. FOR DOOR HARDWARE SPECIFICATION SEE TECHNICAL SPECIFICATION SECTION B5700.
6. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
7. ALL PARTITIONS SHALL BE TYPE DR, UNO.
8. FOR REFLECTED CEILING PLANS SEE A-400 SERIES DRAWINGS. IF RCP IS NOT PROVIDED SEE MEPP/FACILITY SERVICE DRAWINGS FOR LOCATIONS OR ALL CEILING/WALL MOUNTED SERVICES.
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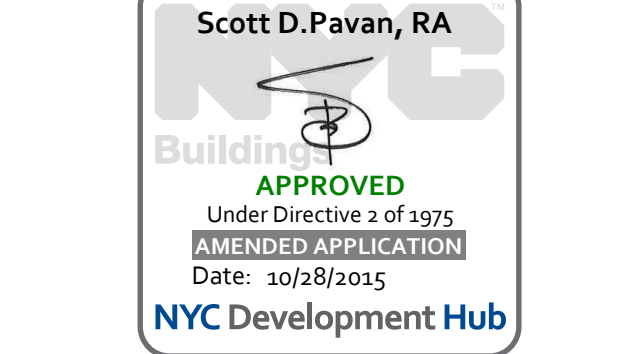
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65 Broadway, Suite 401, New York, NY 10006

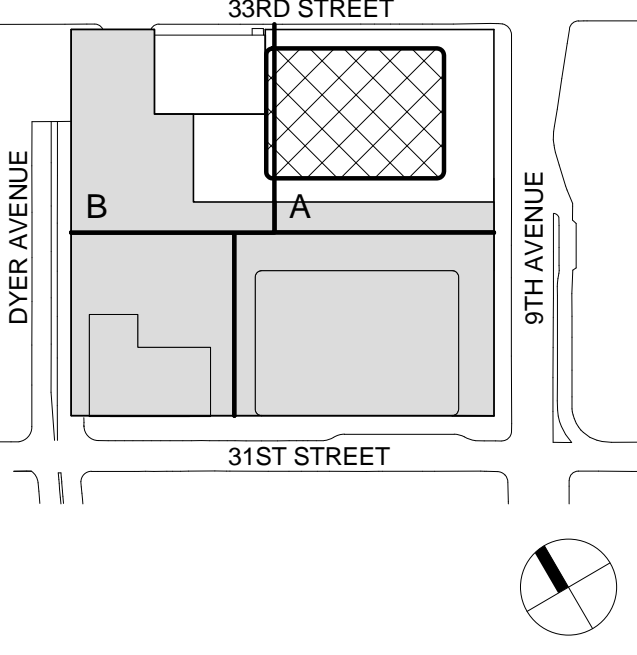
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Key Plan:



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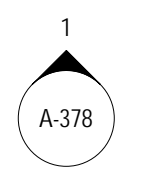
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6	26 FEB 2015	ISSUED FOR BUILDING PERMIT
5	20 JUN 2014	ISSUED FOR FOUNDATION PERMIT
4	20 JUN 2014	ISSUED FOR FOUNDATION PERMIT
3	20 DEC 2013	ISSUED FOR FOUNDATION PERMIT
2	15 NOV 2013	ISSUED FOR DD PROGRESS PRICING
1	12 JUL 2013	ISSUED FOR 50% DESIGN DEVELOPMENT

Sheet Name:  
**LEVEL 6-16  
ENLARGED CORE  
PLAN - TYPICAL  
LOW-RISE**

Project No.:  
207150  
Date:  
07 OCT 2015  
Scale:  
1/4" = 1'-0"  
File No.:  
A-306

B-SCAN Sheet No.:  
A-306.01  
Sheet No.:  
A-306  
Page No.:  
76 OF 30

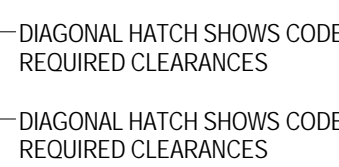




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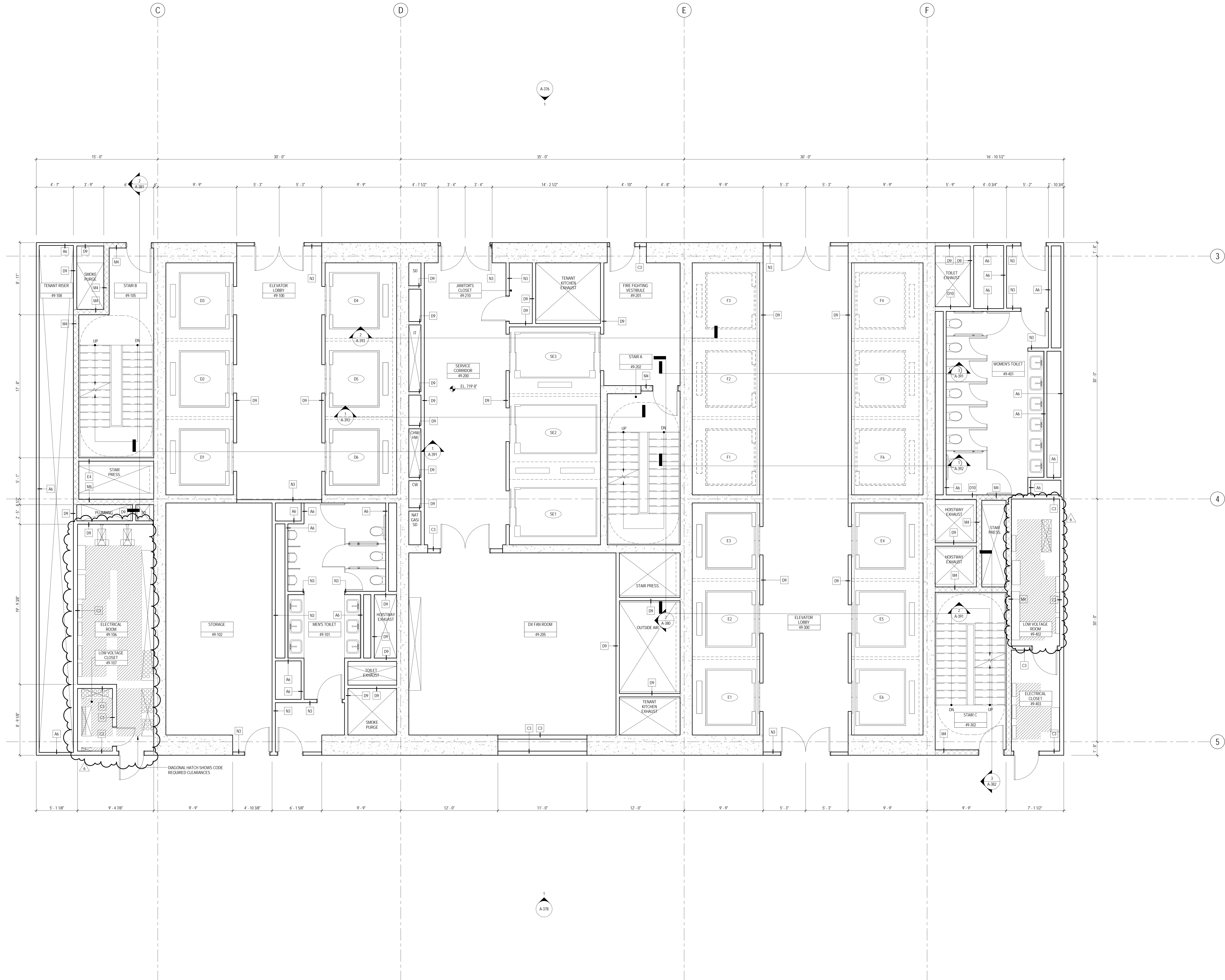
Project No.: 207120	B-SCAN Sheet No.:
Date: 07 OCT 2015	<b>A-328.01</b>
Scale: 1/4" = 1'-0"	Sheet No.: <b>A-328</b>
File No.: A-328	Page No.: 71 OF 30





Project No.: 207120	B-SCAN Sheet No.: <b>A-333.01</b>
Date: 07 OCT 2015	Sheet No.: <b>A-333</b>
Scale: 1/4" = 1'-0"	
File No.: A-333	Page No.: 72 OF 30





## SHEET NOTES

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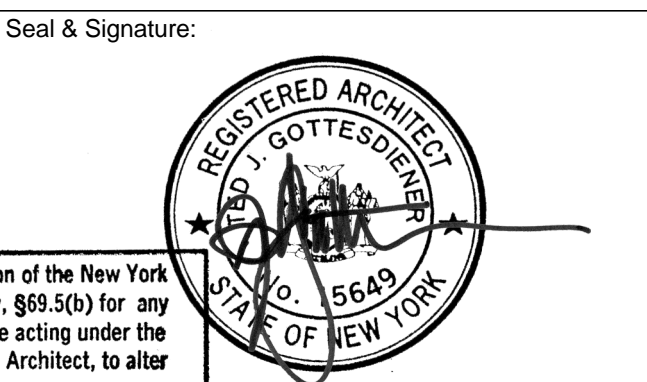
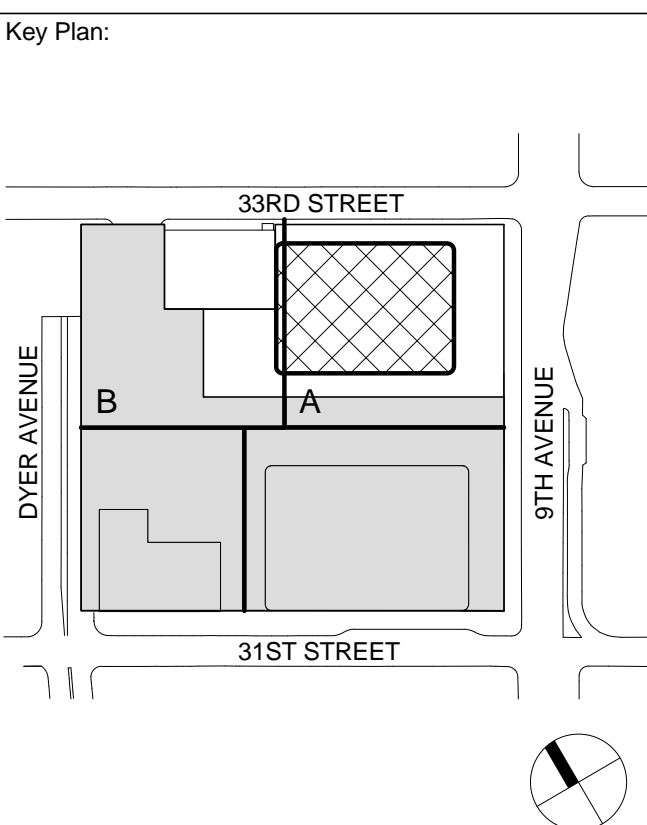
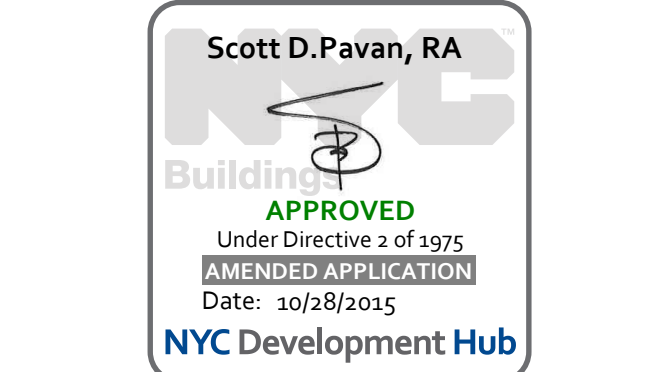
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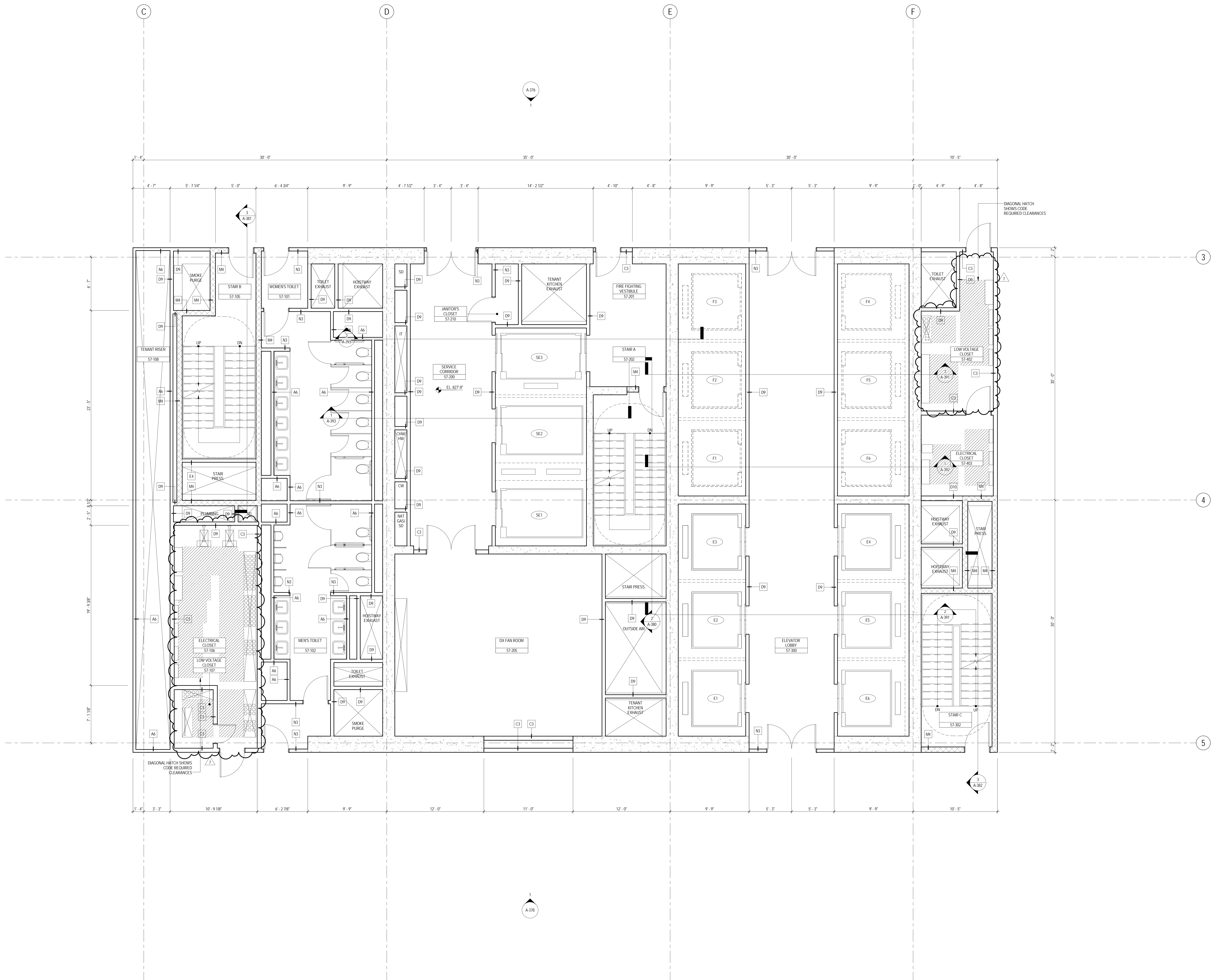
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No. Date Description  
Sheet Name:

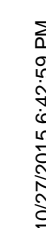
**LEVEL 49  
ENLARGED CORE  
PLAN - MID-RISE  
& HIGH-RISE**

Project No.: 207150	B-SCAN Sheet No.: A-349.01
Date: 07 OCT 2015	Sheet No.: A-349
Scale: 1/4" = 1'-0"	Page No.: 73 OF 30
File No.: A-349	









Project No.: 207120	B-SCAN Sheet No.:  <b>A-364.01</b>
Date: 07 OCT 2015	Sheet No.:  <b>A-364</b>
Scale: 1/4" = 1'-0"	
File No.: A-364	Page No.: 75 OF 30

LEVEL 64-67  
ENLARGED CORE  
PLAN - TYPICAL  
HIGH-RISE











## 2 ENLARGED BICYCLE STORAGE PLAN

SCALE: 1/8" = 1'-0"

## 4 CELLAR B PLAN - LOADING DOCK

SCALE: 1" = 20'-0"

**ACCESSORY OFF-STREET LOADING BERTHS (ZR 36-62)**  
Berths required for office use  
First 100,000 ft²: 0 berths  
Next 200,000 ft²: 1 berth  
Each additional 300,000 ft²: 1 berth  
Total: (1,633,789 ft² - 300,000 ft²) / 300,000 ft² = 5.4 berths

Berths required for retail use  
First 25,000 ft²: 0 berths  
Next 15,000 ft²: 1 berth  
Next 60,000 ft²: 1 berth  
Each additional 150,000 ft²: 1 berth  
Total: (20,123 ft² - 100,000 ft²) / 150,000 ft² = 0 berths

Provided: 7 accessory off-street loading berths (COMPLIES)

### OFF STREET PARKING REGULATIONS (ZR 93-81)

Provided: 13 parking spaces\*  
\*Chairperson certification required

### EXISTING SW RESIDENTIAL TOWER LOADING BERTHS

Berths required: None

## 3 ZONING RESOLUTION - BICYCLE PARKING RERQUIREMENTS

SCALE: NTS

**REQUIRED BICYCLE PARKING SPACES (ZR 36-71)**  
Spaces required for office use  
1 per 7,500 ft² of floor area  
Total (1,633,789 / 7,500): 218 spaces

Spaces required for retail use  
1 per 10,000 ft² of floor area  
Total (20,123 / 10,000): 3 spaces

Provided: 224 bike racks (COMPLIES)

**REQUIRED BICYCLE STORAGE (ZR 36-73)**  
15 ft²/Bicycle  
(224 x 15 ft²) / 2 = 1,680 ft² (for stacked bicycle racks)

Provided: 1,920 ft² (COMPLIES)

### EXISTING SW RESIDENTIAL TOWER ENCLOSED BICYCLE PARKING REQUIREMENTS (ZR 25-811, ZR 36-711)

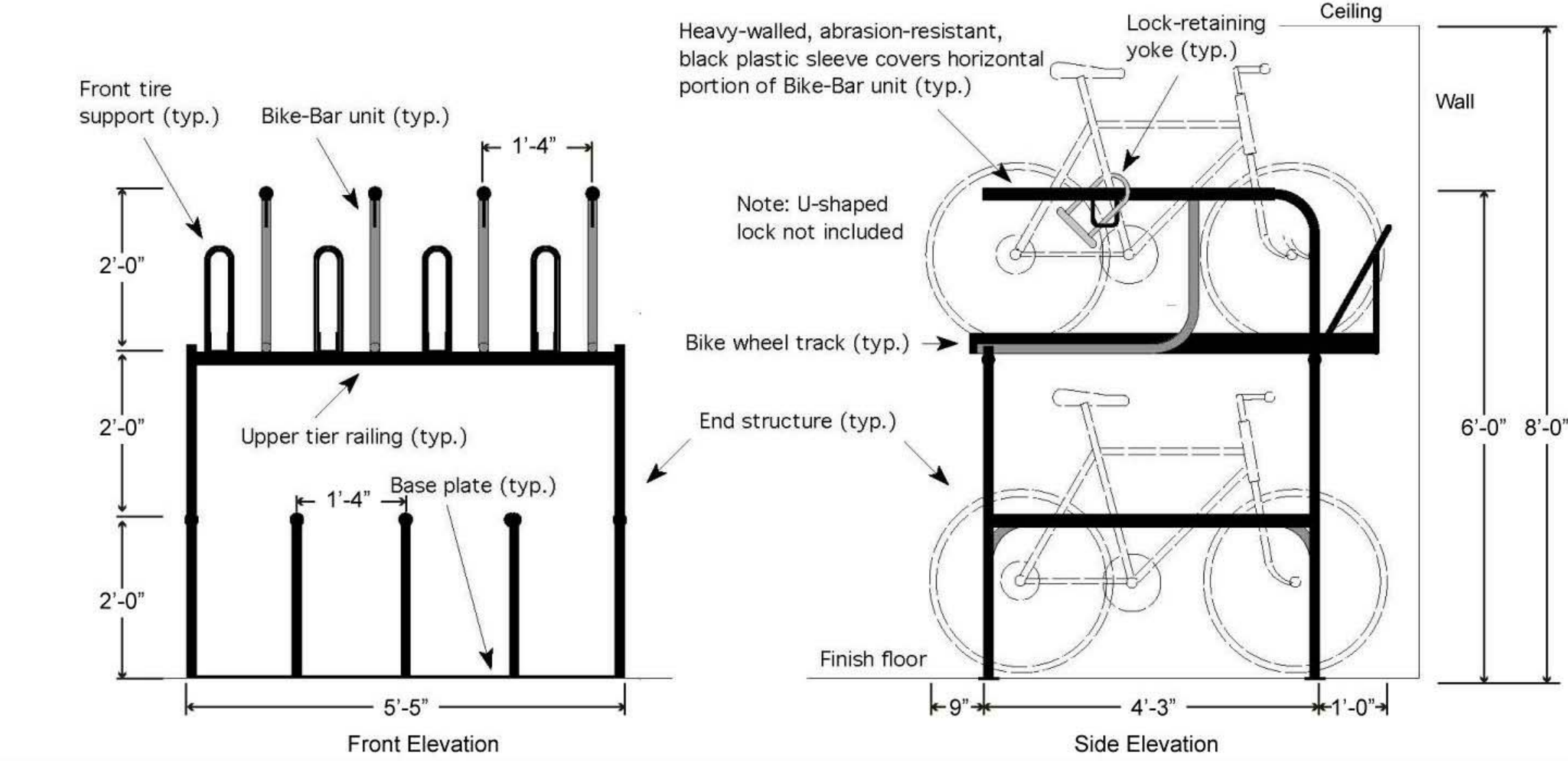
**REQUIRED BICYCLE PARKING SPACES**  
Residential uses = 1 per 2 dwelling units

Proposed no. dwelling units = 844 D.U.  
Required bicycle parking spaces: 844 / 2 = 422 Bicycle required

**BICYCLE STORAGE PROVIDED AT 15 ft²/Bicycle:**  
Bike Room #1 (Cellar) 4,196 ft² / 15 ft² / Bicycle = 279 Bicycles  
Bike Room #2 (1st Floor) 831 ft² / 15 ft² / Bicycle = 55 Bicycles  
Bike Room #3 (2nd Floor) 1,332 ft² / 15 ft² / Bicycle = 88 Bicycles  
Total = 422 Bicycles

## 1 BICYCLE PARKING SPECIFICATIONS

SCALE: NTS



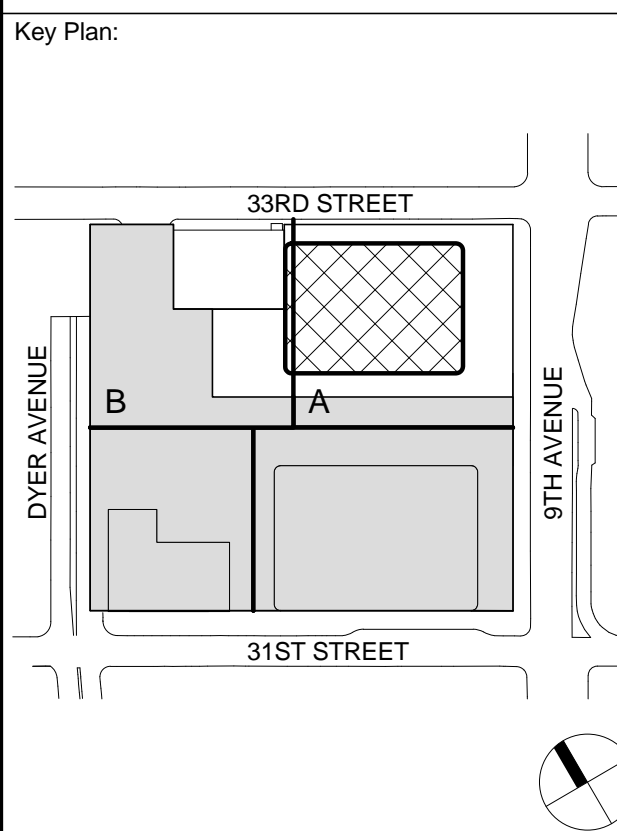
Specifications	
<b>Model#:</b>	• BDDF-8.16 Bike-Double-Decker-Framework™: Two-Tier, Moderate Security Bike Rack
<b>Capacity:</b>	• (8) bikes on 16" centers (4 on the top and 4 on the bottom)
<b>Materials:</b>	• 1" nom., Sched. 40 ASTM A500 welded, seamless-steel pipe for Bike-Bar units and end structures • 1.5" nom., Sched. 40 ASTM A500 welded, seamless-steel pipe for upper-tier railings • 1" nom., heavy-walled, abrasion-resistant, black plastic sleeve covers entire horizontal portion of Bike-Bar units • 3" x 3" x 1/8 gauge H.R. steel channel for bike wheel tracks • 1/4" x 3" H.R. steel flat-bar for base plates • 1/2" dia. H.R. steel round-bar for lock-retaining yokes and front tire supports
<b>Finishes:</b>	• Hot-dipped galvanizing • Black, abrasion-resistant thermoplastic powder coating 8 to 10 mils thick • Standard-colored, abrasion-resistant thermoplastic powder coating 8 to 10 mils thick (extra) • Hot-dipped galvanized substrate plus thermoplastic powder coating 8 to 10 mils thick (extra) • Satin-finished #304 stainless-steel construction (extra)
<b>Fabrication:</b>	• All metallurgical joints are MIG welds

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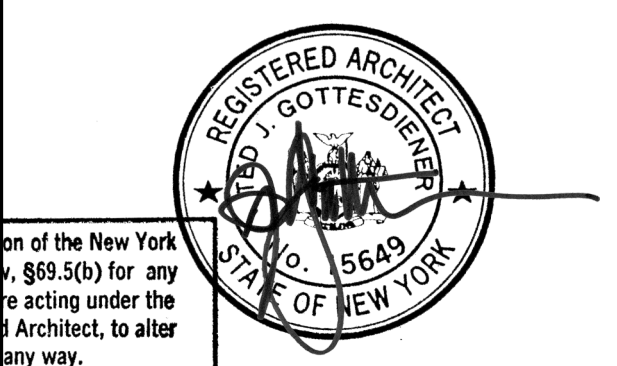
Bike Security Racks Co., Inc.  
12 Sawyer Loop  
Westport, NH 03282  
(800) 545-2377  
(603) 786-8652 FAX

## BICYCLE PARKING & LOADING BERTHS

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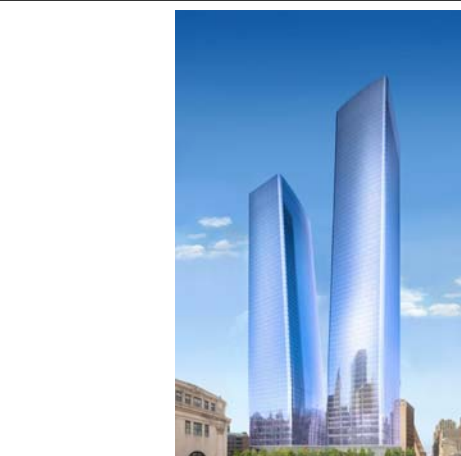
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- ZONING LEGENDS
- GROSS BUILDING AREA
  - ZONING AREA DEDUCTIONS
  - ZONING FLOOR AREA
  - RETAIL
  - MR MECHANICAL ROOM
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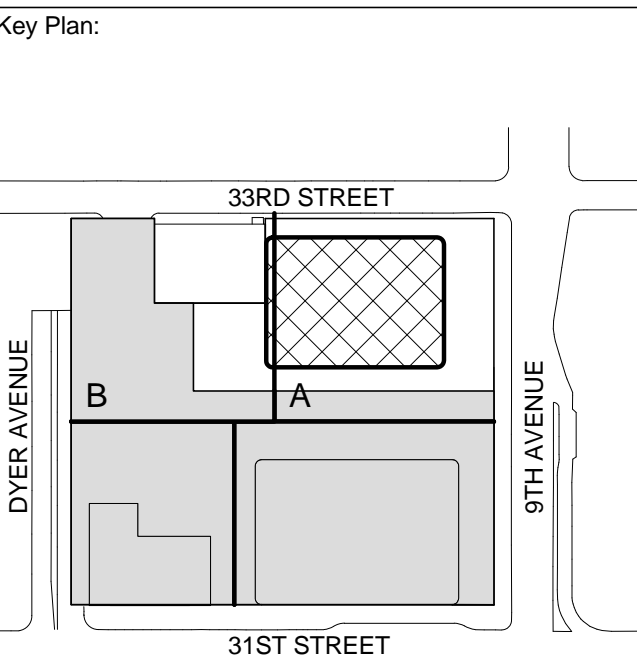
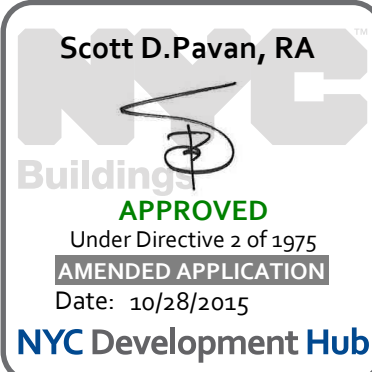
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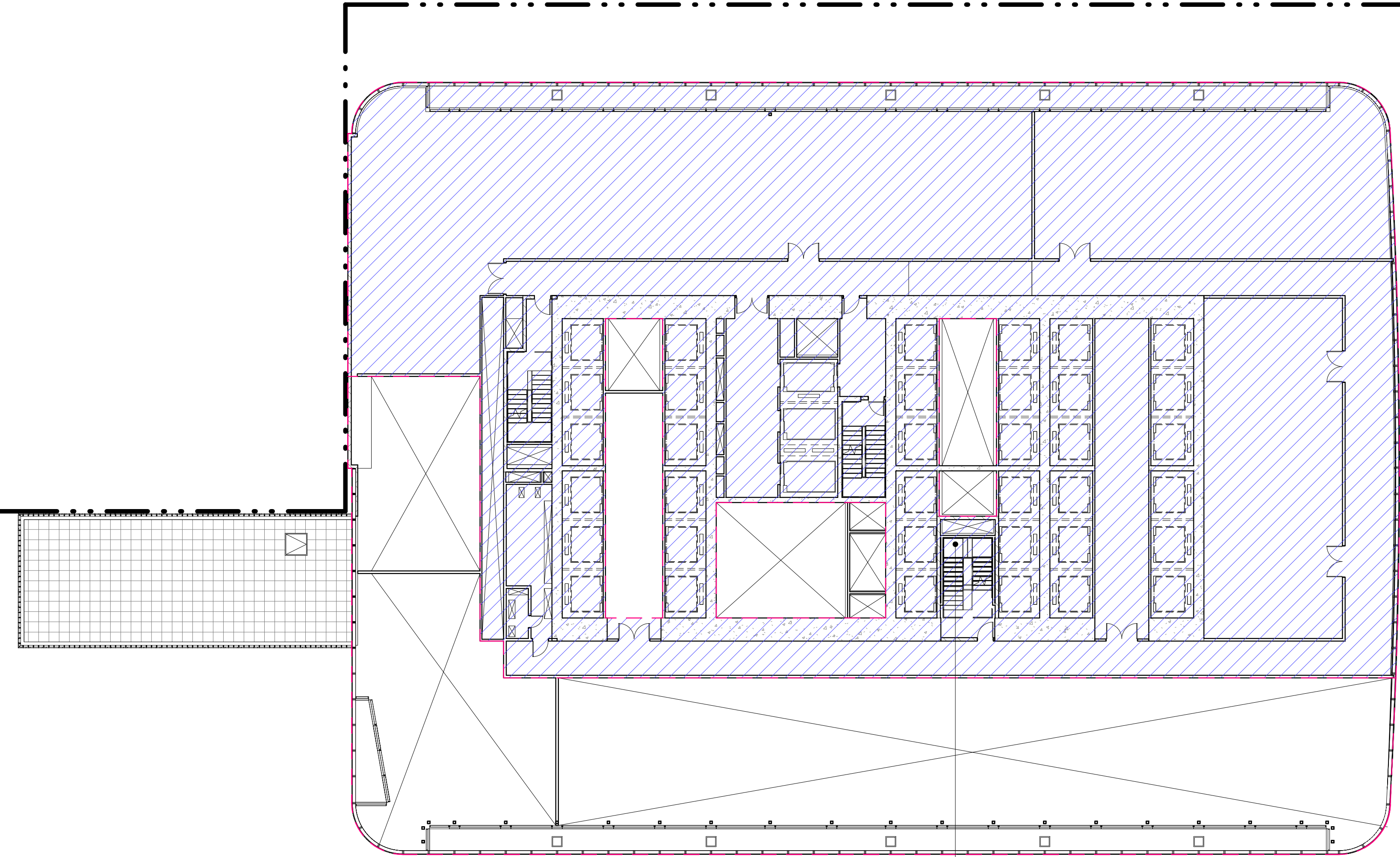
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AREA  
DEDUCTIONS -  
LEVEL 5-8

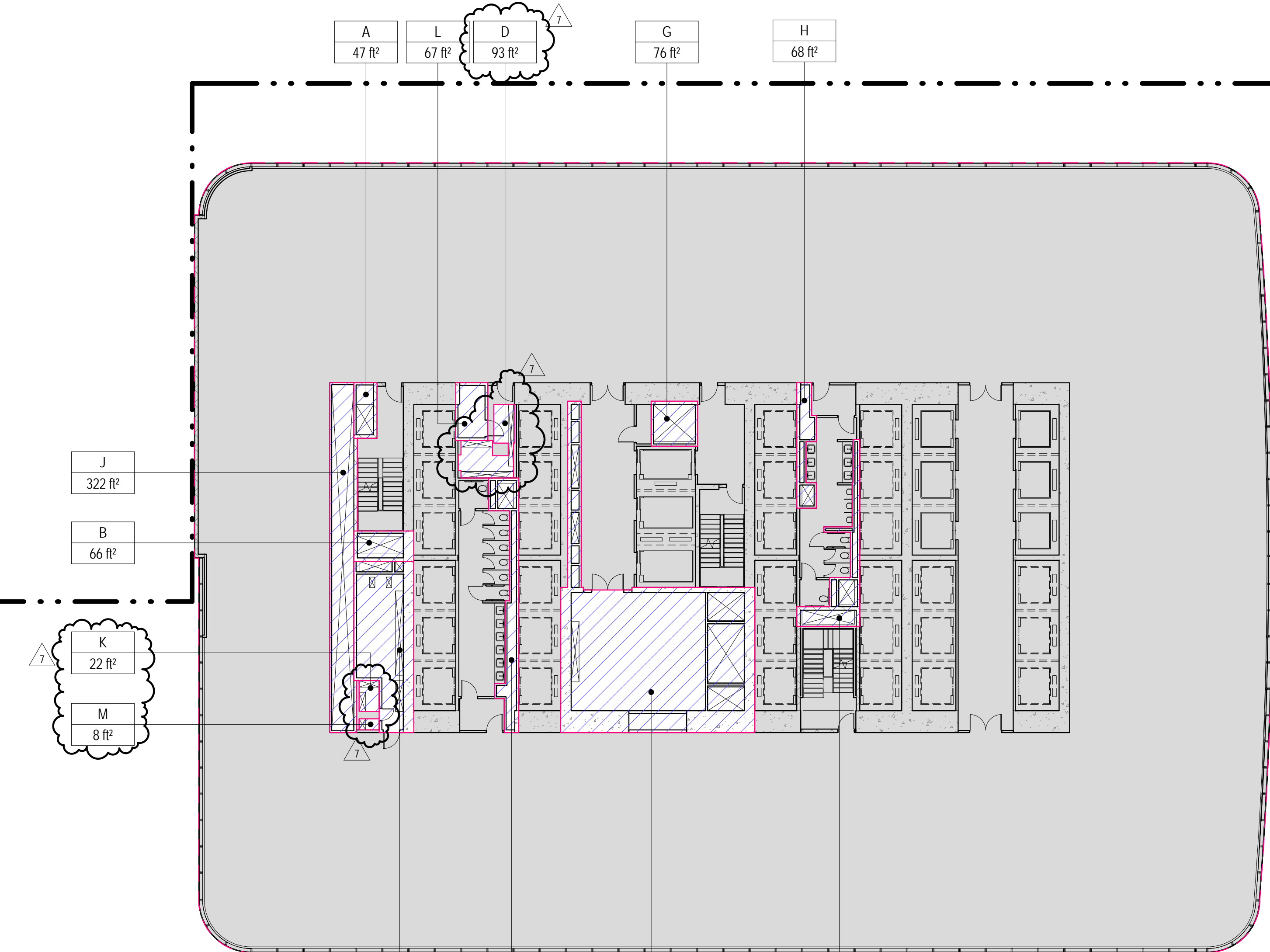
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B-SCAN Sheet No.: Z-105.01  
Sheet No.: Z-105  
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AREA DEDUCTIONS LEVEL 5		
NAME	TYPE	AREA
A	MR	20296 R²
Grand total		20296 R²

ZONING SCHEDULE - LEVEL 5	
ZONING DEDUCTIONS	20296 R²
GROSS FLOOR AREA	20296 R²

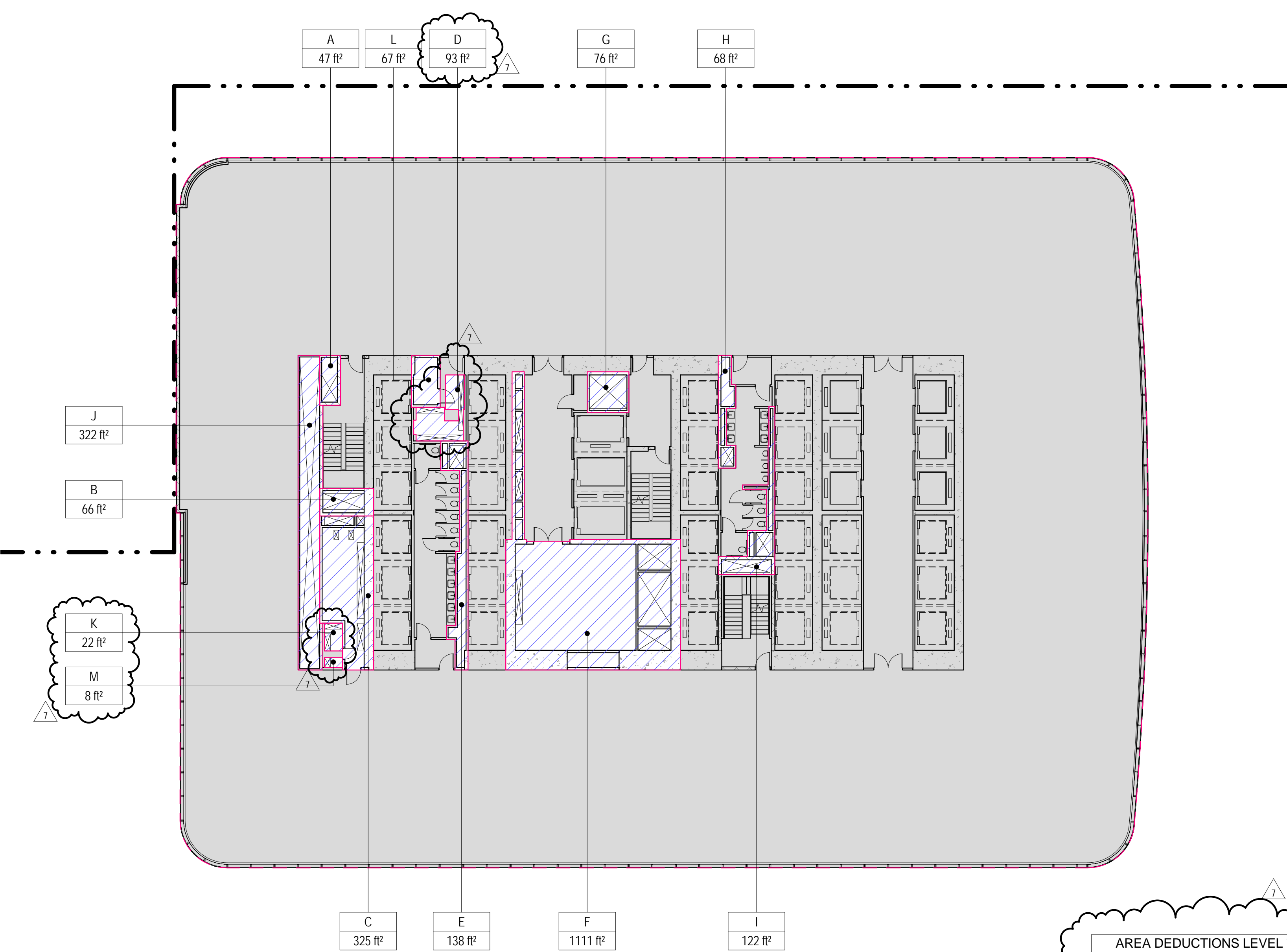
1 LEVEL 5 PLAN  
SCALE: 1/16" = 1'-0"



AREA DEDUCTIONS LEVEL 6		
NAME	TYPE	AREA
A	M	47 R²
B	M	66 R²
C	E/P	325 R²
D	E	93 R²
E	M/P	138 R²
F	M/E/P	1111 R²
G	M	76 R²
H	M/P	68 R²
I	M/P	122 R²
J	M/E/P	322 R²
K	E	22 R²
L	E	67 R²
M	E	8 R²
Grand total		2465 R²

ZONING SCHEDULE - LEVEL 6	
ZONING DEDUCTIONS	2465 R²
ZONING FLOOR AREA	28155 R²
GROSS FLOOR AREA	30620 R²

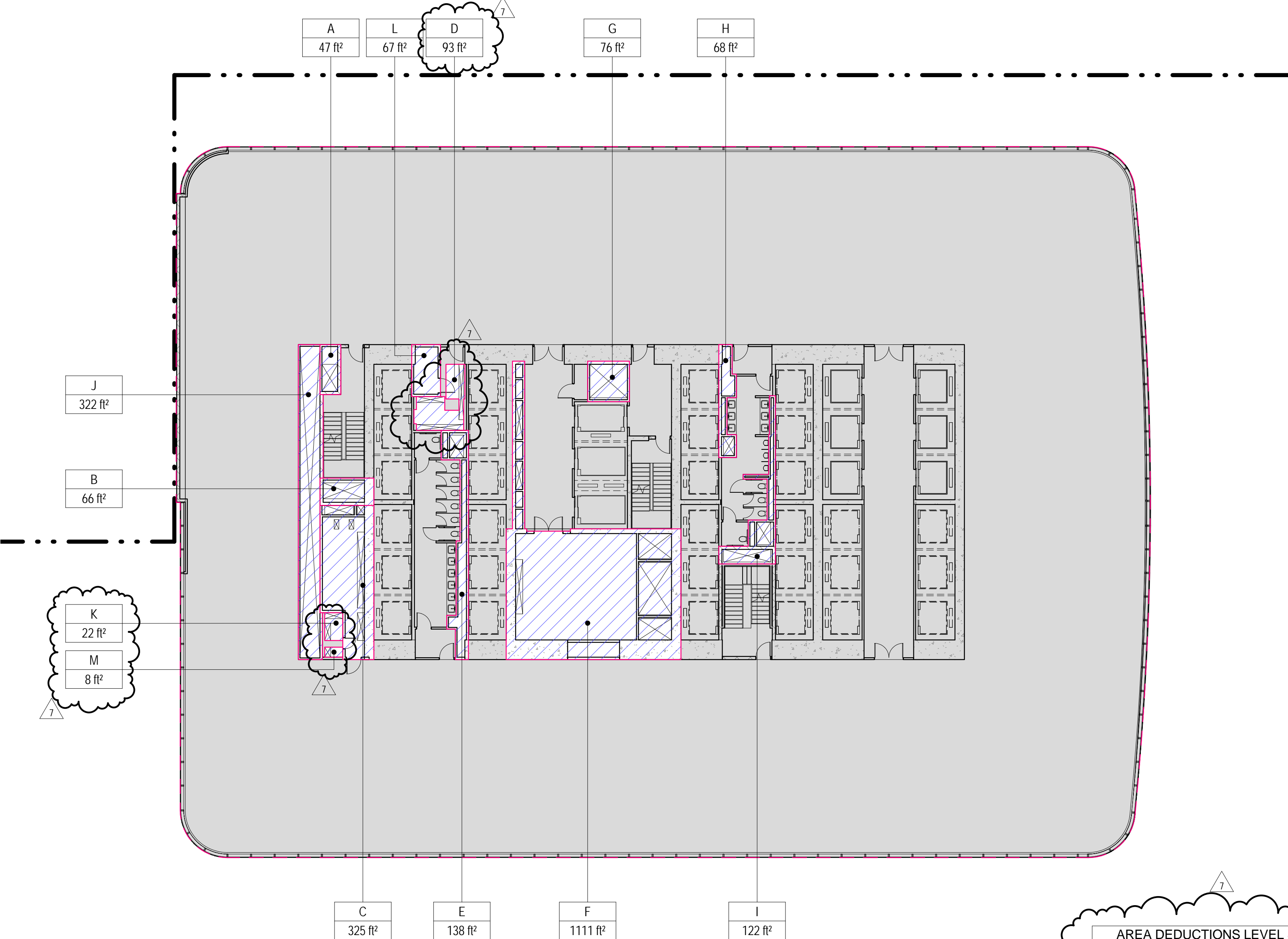
2 LEVEL 6 PLAN  
SCALE: 1/16" = 1'-0"



AREA DEDUCTIONS LEVEL 7		
NAME	TYPE	AREA
A	M	47 R²
B	M	66 R²
C	E/P	325 R²
D	E	93 R²
E	M/P	138 R²
F	M/E/P	1111 R²
G	M	76 R²
H	P	68 R²
I	M/P	122 R²
J	M/E/P	322 R²
K	E	22 R²
L	E	67 R²
M	E	8 R²
Grand total		2465 R²

ZONING SCHEDULE - LEVEL 7	
ZONING DEDUCTIONS	2465 R²
ZONING FLOOR AREA	28180 R²
GROSS FLOOR AREA	30646 R²

3 LEVEL 7 PLAN  
SCALE: 1/16" = 1'-0"



AREA DEDUCTIONS LEVEL 8		
NAME	TYPE	AREA
A	M	47 R²
B	M	66 R²
C	E/P	325 R²
D	E	93 R²
E	M/P	138 R²
F	M/E/P	1111 R²
G	M	76 R²
H	M/P	68 R²
I	M/P	122 R²
J	M/E/P	322 R²
K	E	22 R²
L	E	67 R²
M	E	8 R²
Grand total		2465 R²

ZONING SCHEDULE - LEVEL 8	
ZONING DEDUCTIONS	2465 R²
ZONING FLOOR AREA	28208 R²
GROSS FLOOR AREA	30673 R²

4 LEVEL 8 PLAN  
SCALE: 1/16" = 1'-0"

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- ZONING LEGENDS**
- GROSS BUILDING AREA
  - ZONING AREA DEDUCTIONS
  - ZONING FLOOR AREA
  - RETAIL
  - MR MECHANICAL ROOM
  - M MECHANICAL
  - E ELECTRICAL/TEL./IT
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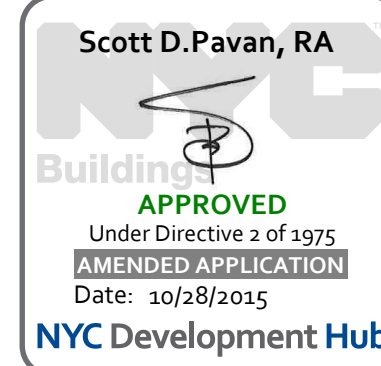
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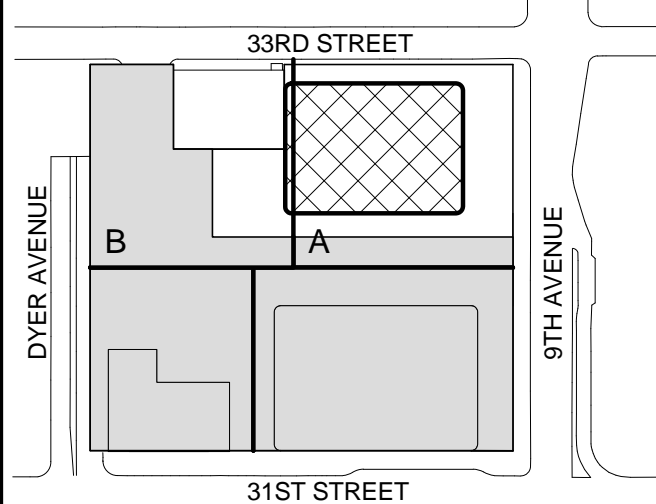
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**ZONING FLOOR  
AREA  
DEDUCTIONS -  
LEVEL 13-16**

Project No.:

207150

Date:

07 OCT 2015

Scale:

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File No.:

Z-107

B-SCAN Sheet No.:

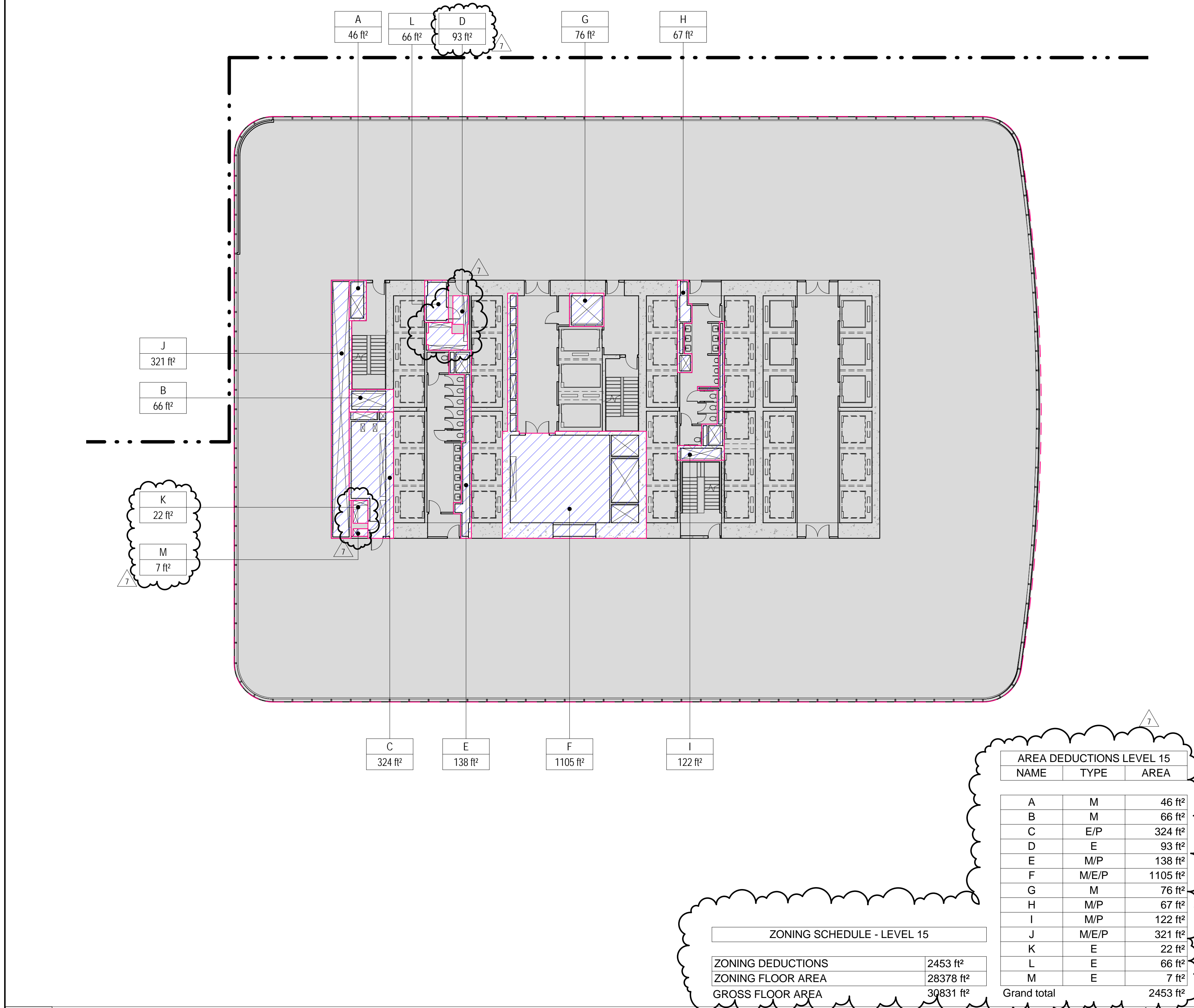
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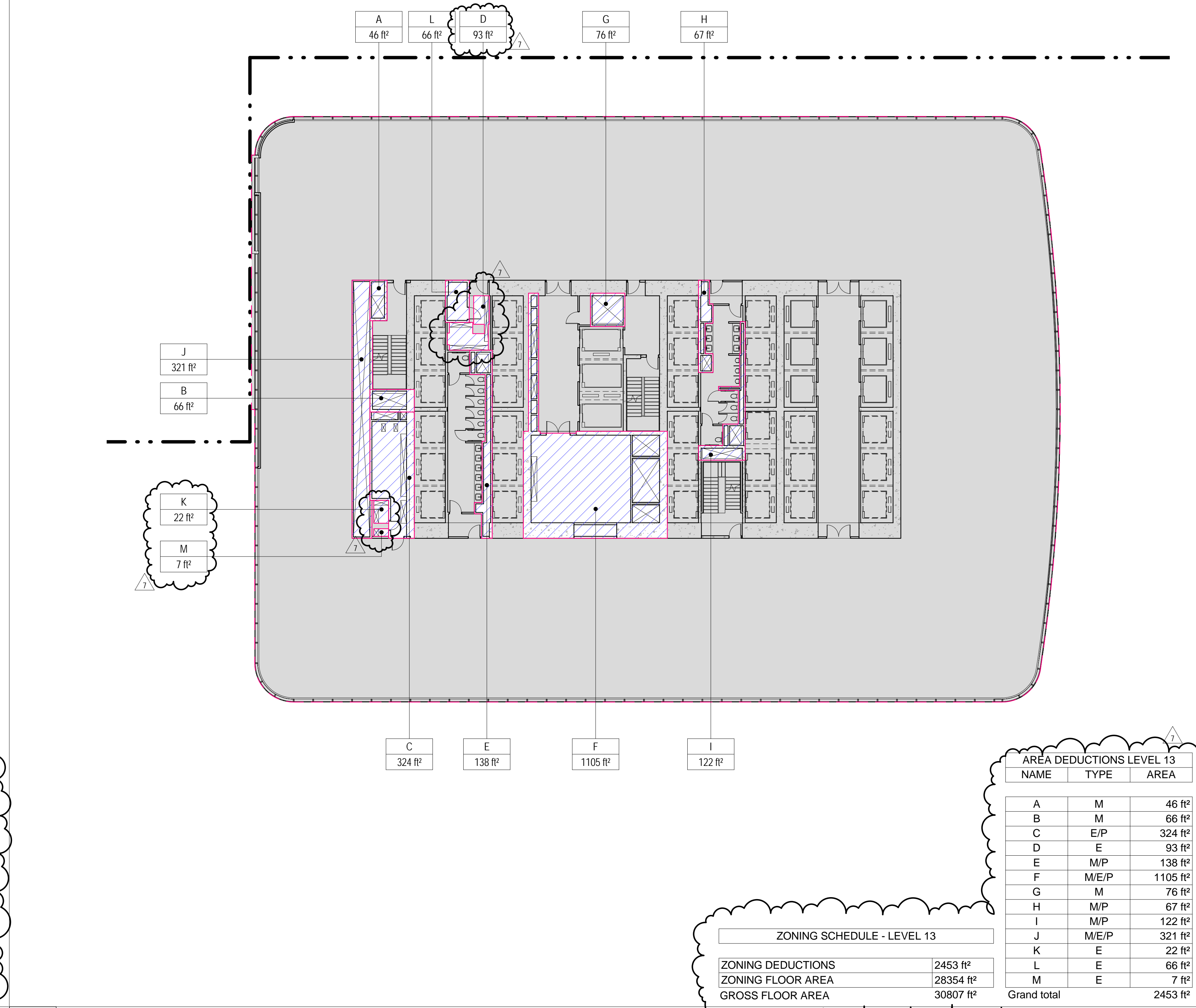
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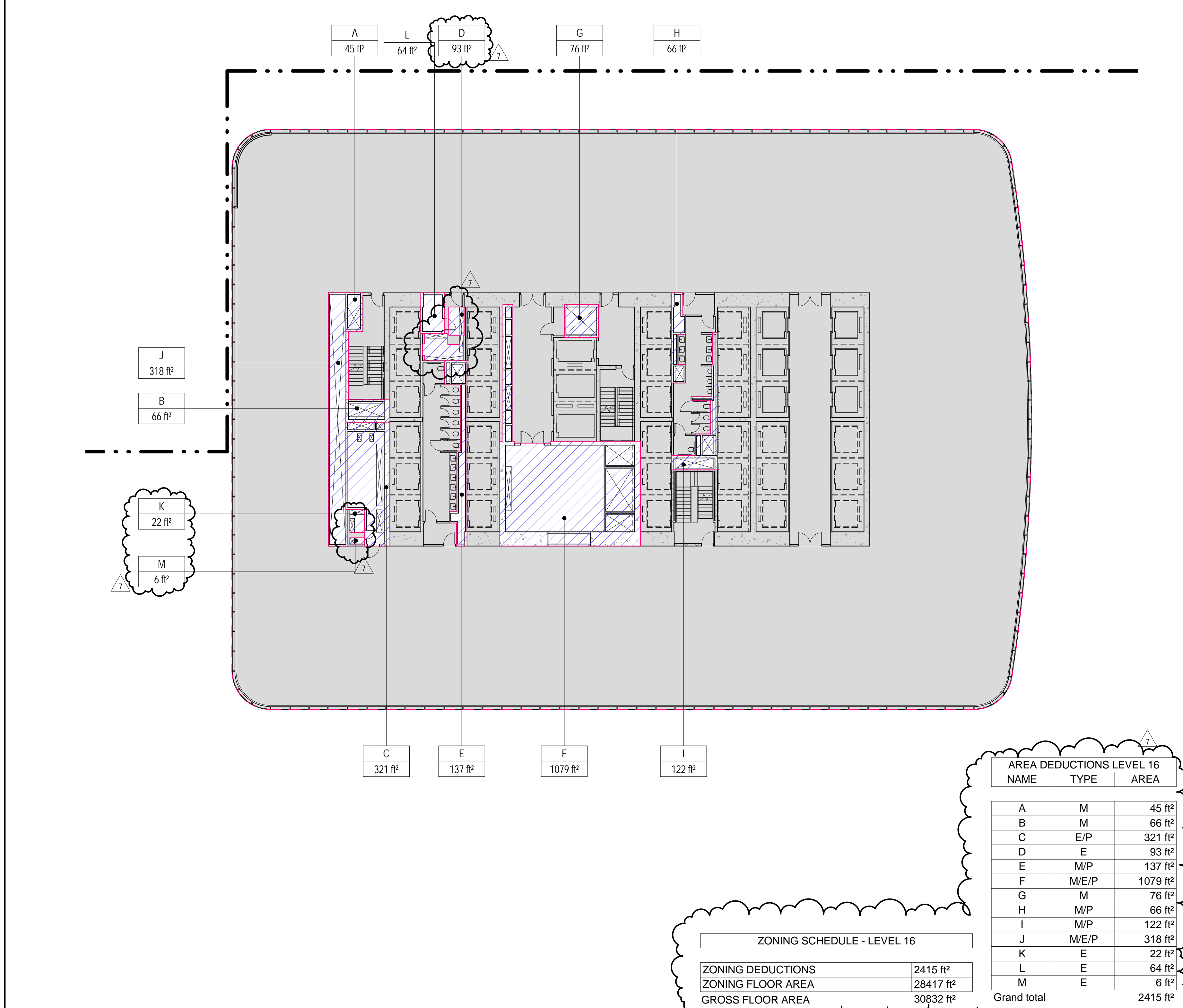
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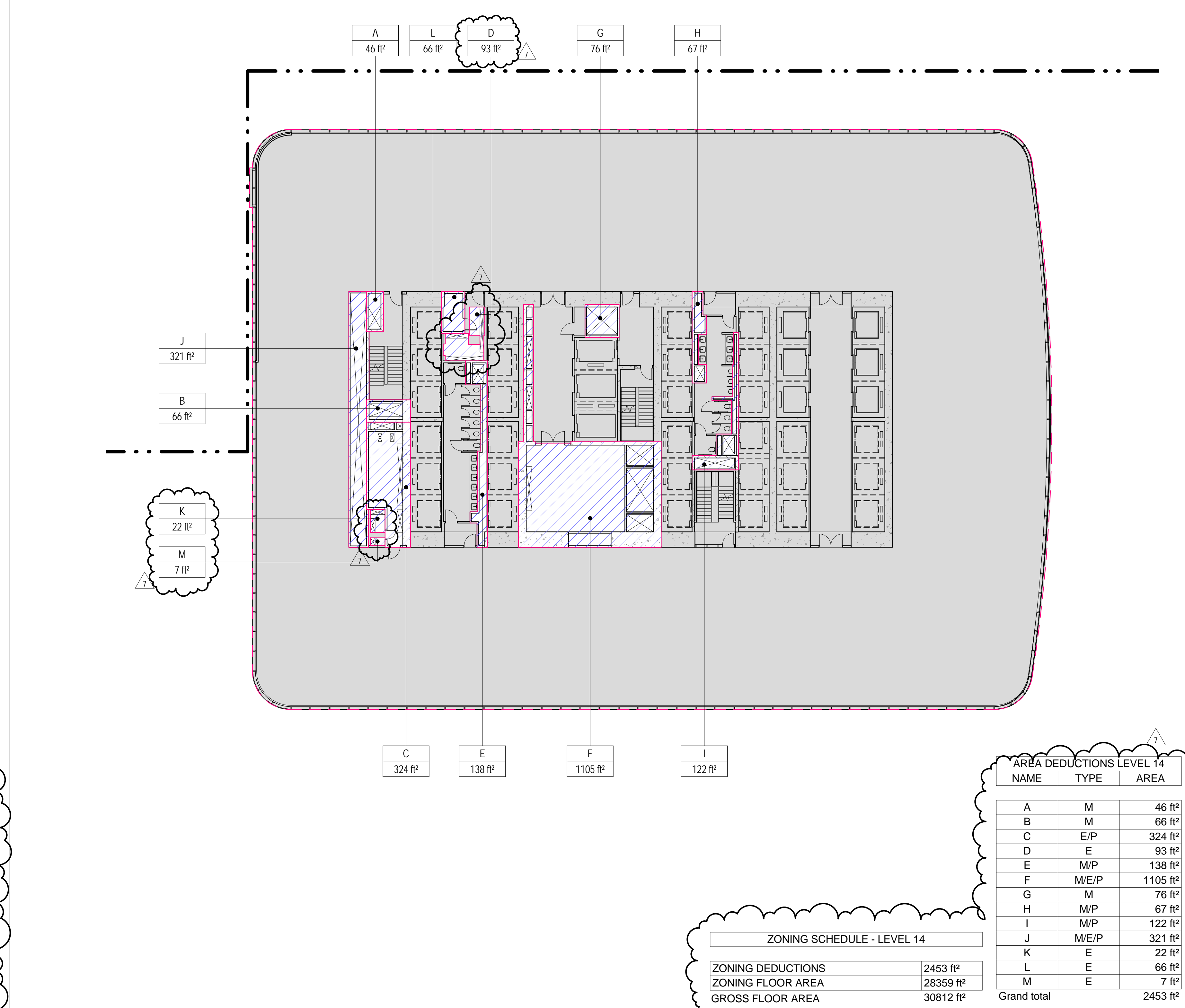
**3 LEVEL 15 PLAN**  
SCALE: 1/16" = 1'-0"



**1 LEVEL 13 PLAN**  
SCALE: 1/16" = 1'-0"



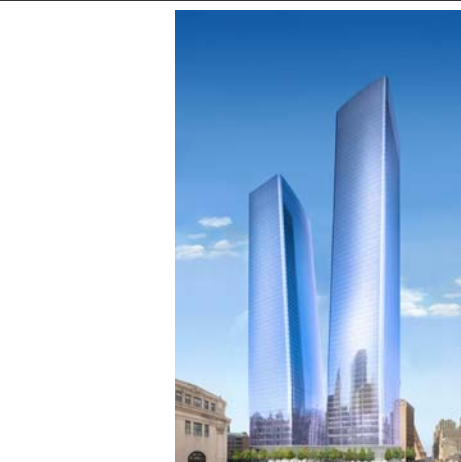
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SCALE: 1/16" = 1'-0"



**2 LEVEL 14 PLAN**  
SCALE: 1/16" = 1'-0"



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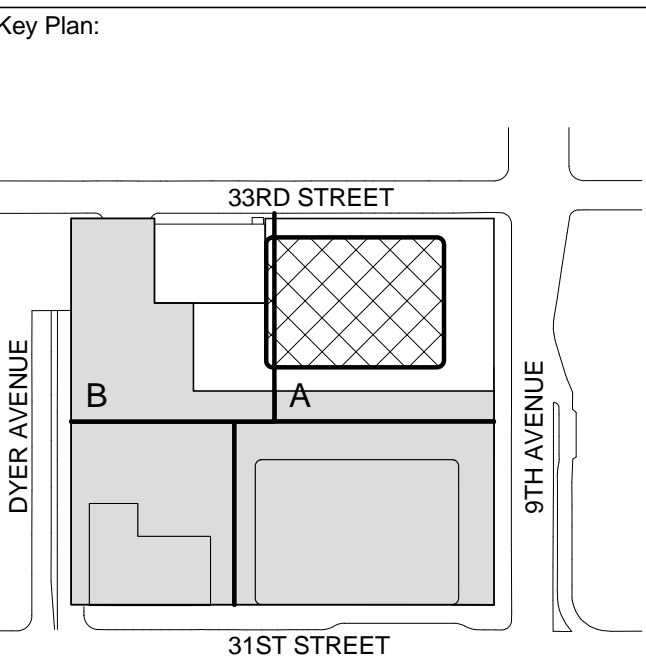
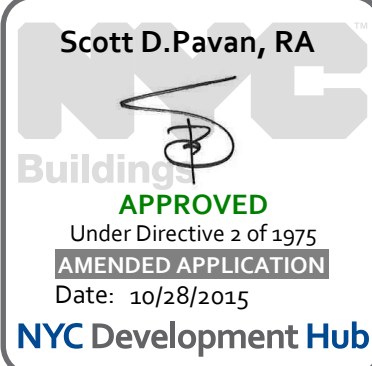
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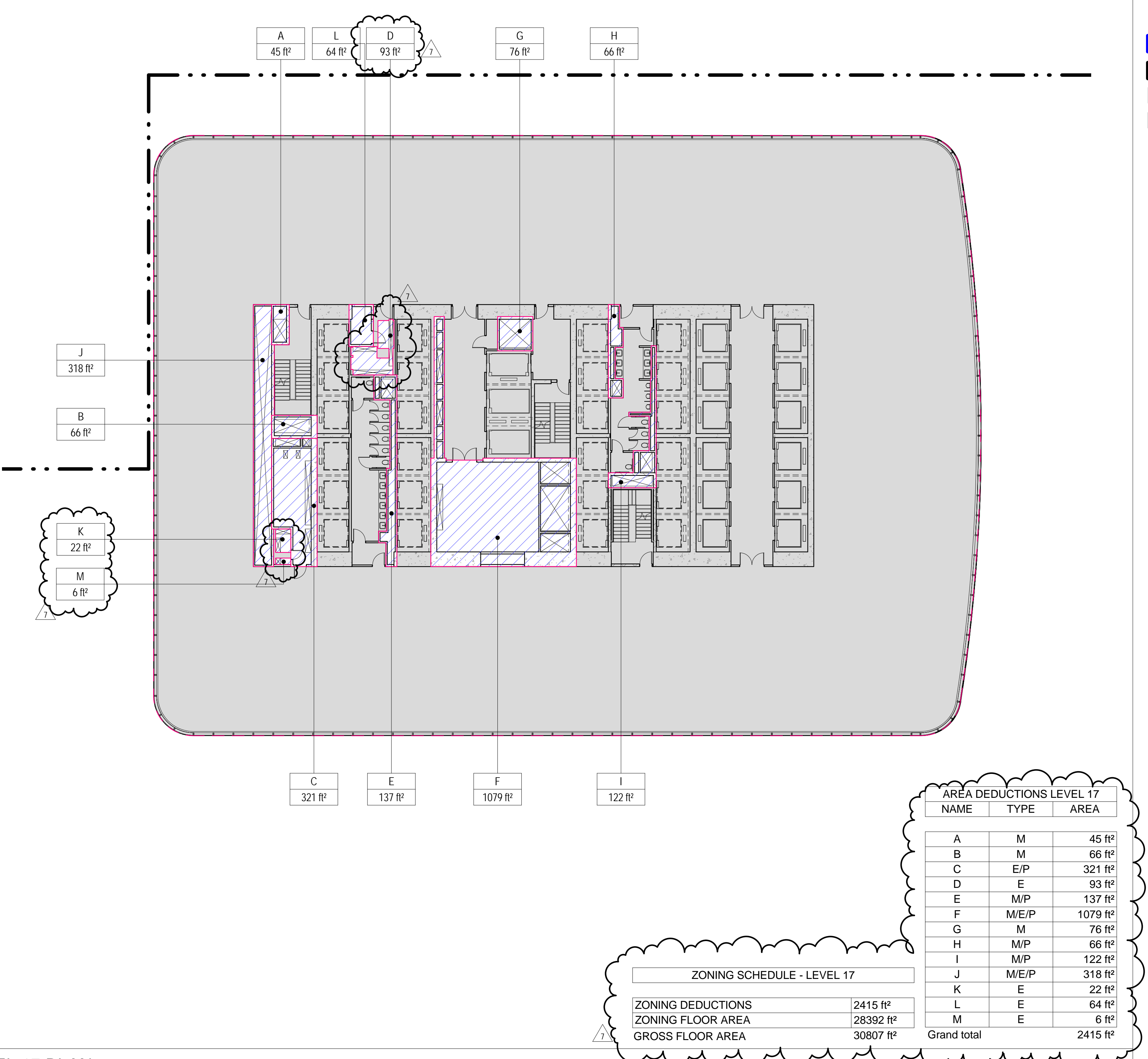
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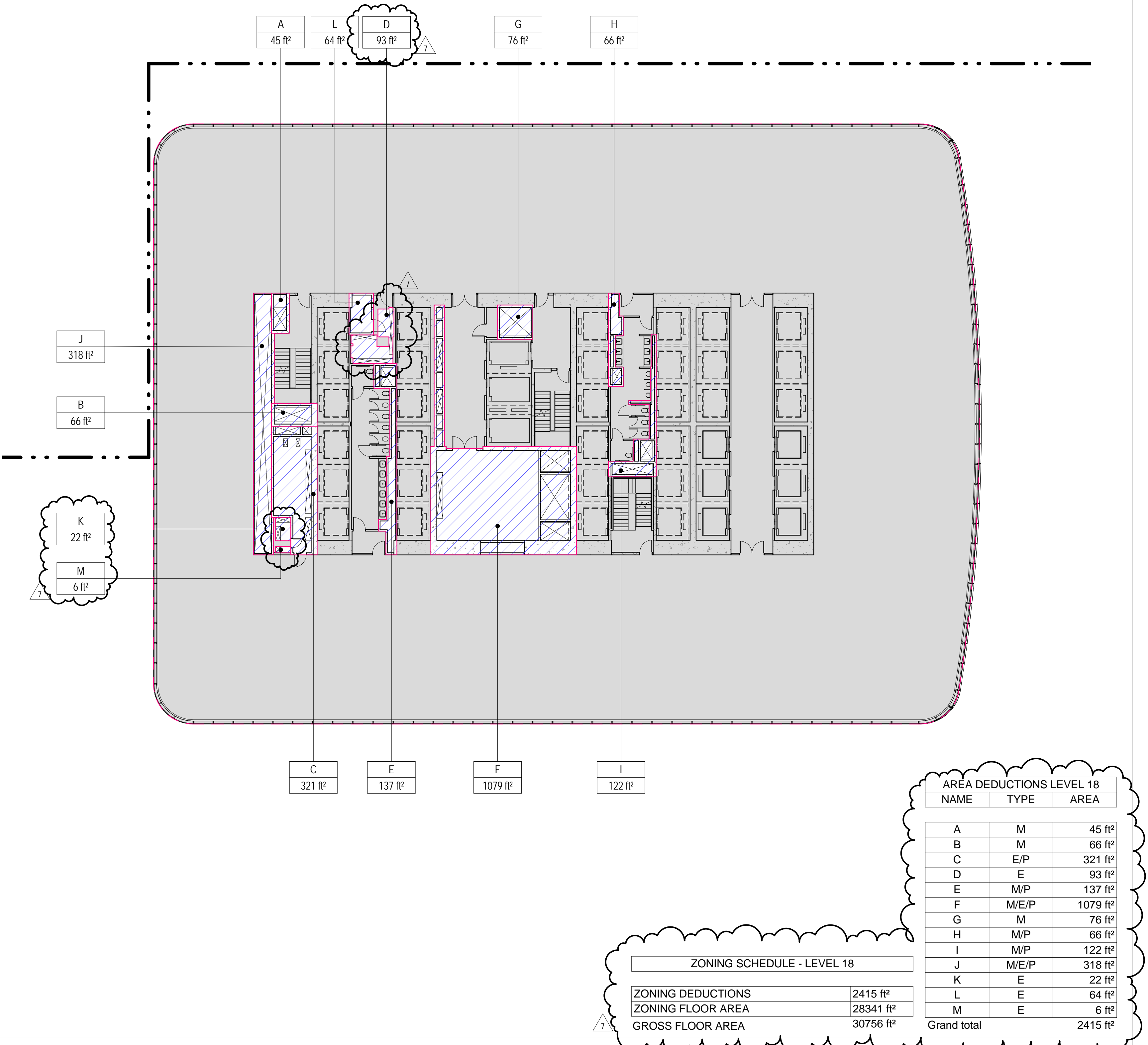
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Sheet Name:

ZONING FLOOR  
AREA  
DEDUCTIONS -  
LEVEL 17-20

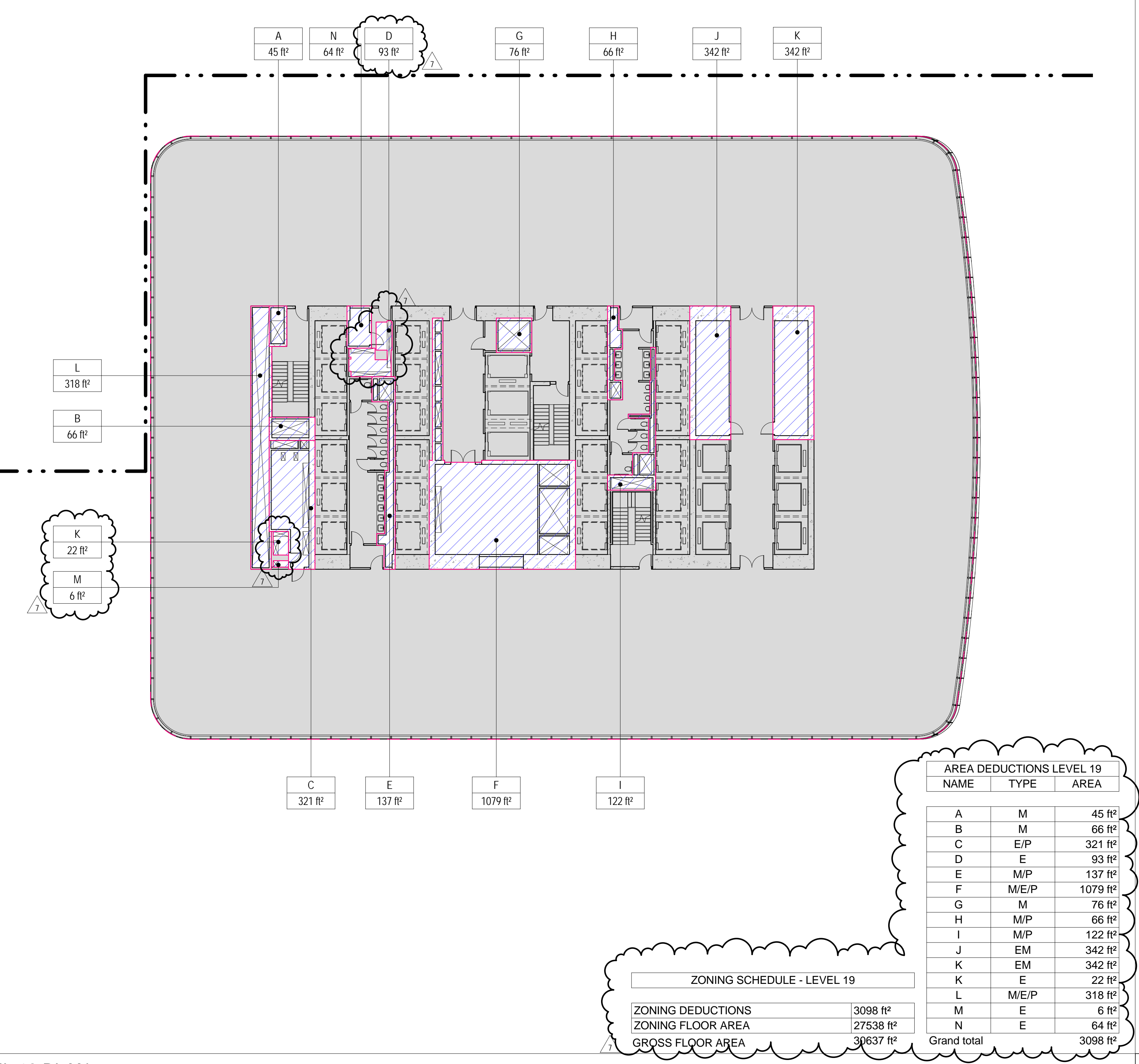
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B-SCAN Sheet No.: Z-108.01  
Sheet No.: Z-108  
Page No.: 15 OF 30



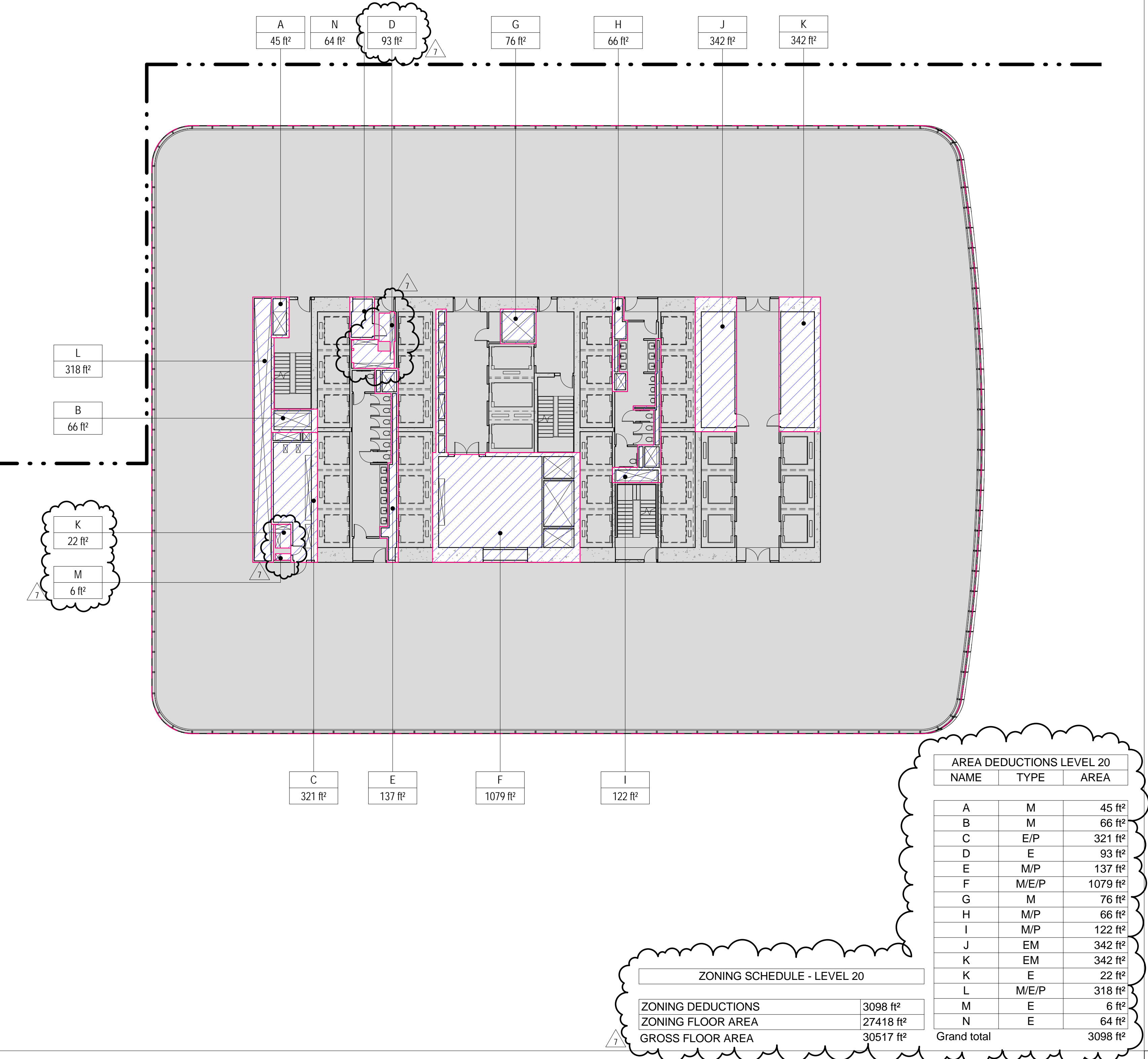
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2 LEVEL 18 PLAN  
SCALE: 1/16" = 1'-0"



3 LEVEL 19 PLAN  
SCALE: 1/16" = 1'-0"



4 LEVEL 20 PLAN  
SCALE: 1/16" = 1'-0"





**MANHATTAN WEST:  
NORTH TOWER**  
375 Ninth Avenue, New York, NY 10001  
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**Brookfield**  
Brookfield Place  
250 Vesey Street, 15th Floor, New York, NY 10021

Architecture/Structural Engineering  
**SOM**  
Skidmore, Owings & Merrill LLP  
14 Wall Street, New York, NY 10005

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Philip Habb & Associates  
102 Madison Avenue #11, New York, NY 10016

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Jaros Baum & Bolles  
80 Pine Street, New York, NY 10005

Vertical Transportation  
Edgett Williams Consulting Group, Inc.  
102 East Blithedale Ave, Suite 1, Mill Valley, California 94941

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Viridian Energy & Environmental  
50 Washington Street, Newark, CT 06854

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Mueser Rutledge Consulting Engineers  
14 Penn Plaza, 22nd W, 34th Street, New York, NY 10122

Landscape Consultant  
Field Operations  
475 10th Avenue, New York, NY 10018

Security Consultant  
Ducibella, Vantor & Santoro  
250 State Street #F1, North Haven, CT 06473

Blast Consultant  
Weidinger Associates, Inc.  
40 Wall Street, New York, NY 10005

Acoustical Consultant  
Cerami & Associates  
404 Fifth Avenue #8, New York, NY 10016

Vibration Consultant  
Wilson, Uhrig & Associates, Inc.  
65 Broadway, Suite 401, New York, NY 10006

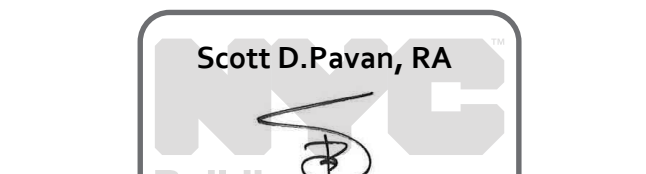
Code Consultant  
Code Consultants Professional Engineers PC  
215 West 40th Street, 15th Floor, New York, NY 10018

Facade Maintenance Consultant  
Entek Engineering LLC  
166 Ames Street, Hackensack, NJ 07601

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Key Plan:



Seal & Signature:



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3. 18 DEC 2014 ISSUED FOR FOUNDATION PERMIT  
2. 20 JUN 2014 ISSUED FOR FOUNDATION PERMIT  
1. 20 DEC 2013 ISSUED FOR FOUNDATION PERMIT

No. Date Description  
Sheet Name:

**ZONING FLOOR  
AREA  
DEDUCTIONS -  
LEVEL 21-24**

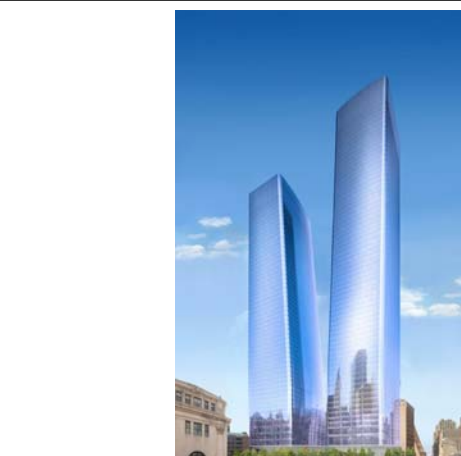
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**Z-109.01**

Date: 07 OCT 2015  
Sheet No.:  
**Z-109**

Scale: 1/16" = 1'-0"  
Page No.: 16 OF 30



- ZONING LEGENDS**
- GROSS BUILDING AREA
  - ZONING AREA DEDUCTIONS
  - ZONING FLOOR AREA
  - RETAIL
  - MR MECHANICAL ROOM
  - M MECHANICAL
  - E ELECTRICAL/TEL./IT
  - P PLUMBING
  - EM ELEVATOR MACHINE ROOM



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Blast Consultant  
Weidinger Associates, Inc.  
40 Wall Street, New York, NY 10005

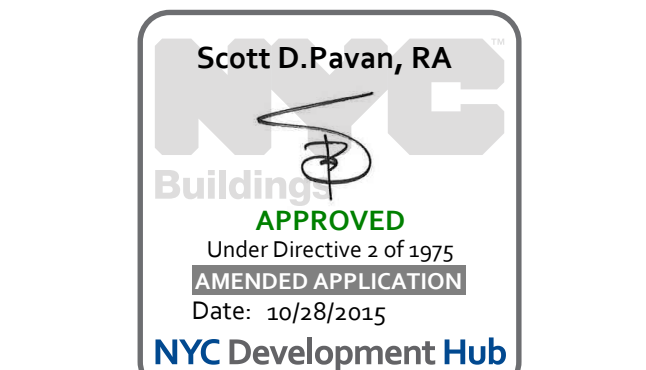
Acoustical Consultant  
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404 Fifth Avenue #8, New York, NY 10018

Vibration Consultant  
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65 Broadway, Suite 401, New York, NY 10006

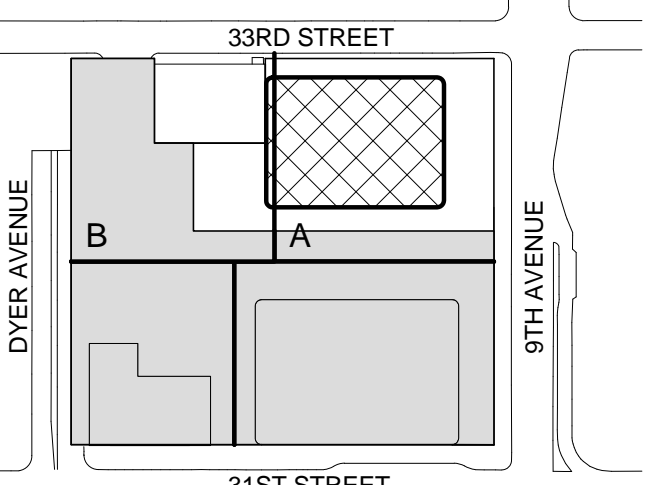
Code Consultant  
Code Consultants Professional Engineers PC  
215 West 40th Street, 15th Floor, New York, NY 10018

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166 Ames Street, Hackensack, NJ 07601

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650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8



Key Plan:



Seal & Signature:

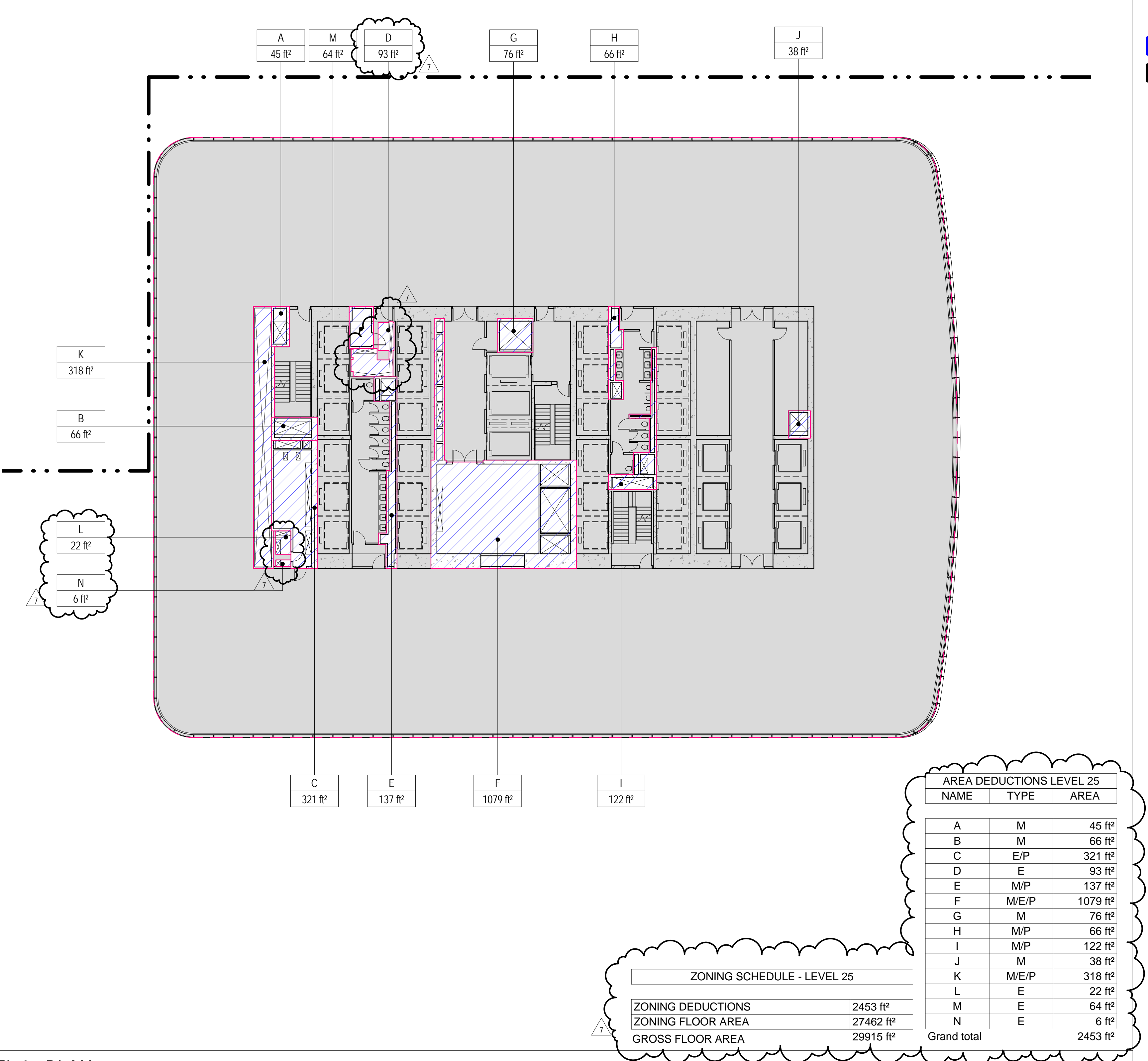


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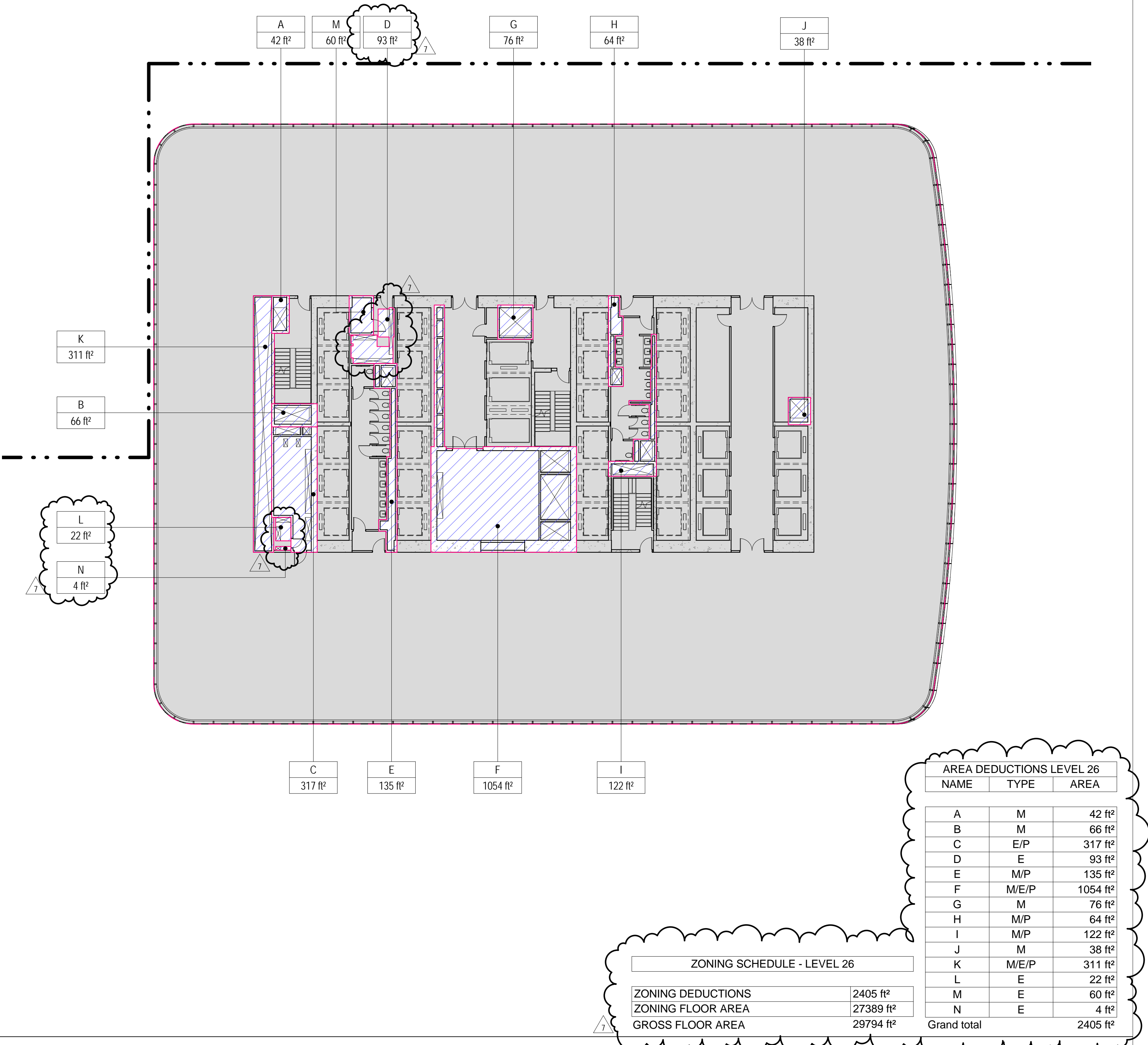
No.	Date	Description
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5	12 MAY 2015	ISSUED FOR BUILDING PERMIT
4	26 FEB 2015	ISSUED FOR BUILDING PERMIT
3	18 DEC 2014	ISSUED FOR FOUNDATION PERMIT
2	20 JUN 2014	ISSUED FOR FOUNDATION PERMIT
1	20 DEC 2013	ISSUED FOR FOUNDATION PERMIT

**ZONING FLOOR  
AREA  
DEDUCTIONS -  
LEVEL 25-28**

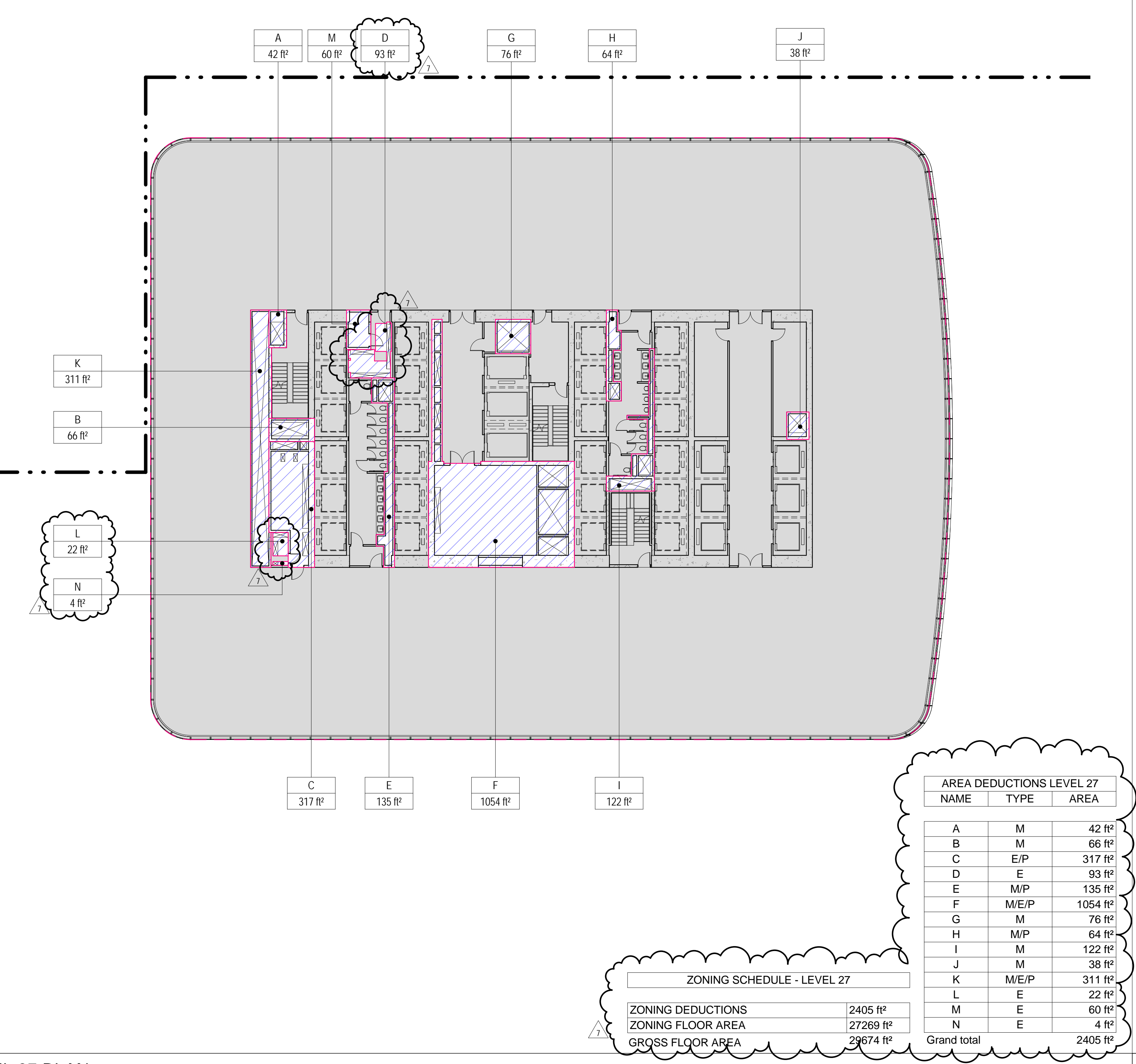
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Date: 07 OCT 2015	Sheet No.: Z-110
Scale: 1/16" = 1'-0"	Page No.: 17 OF 30
File No.: 2-110	



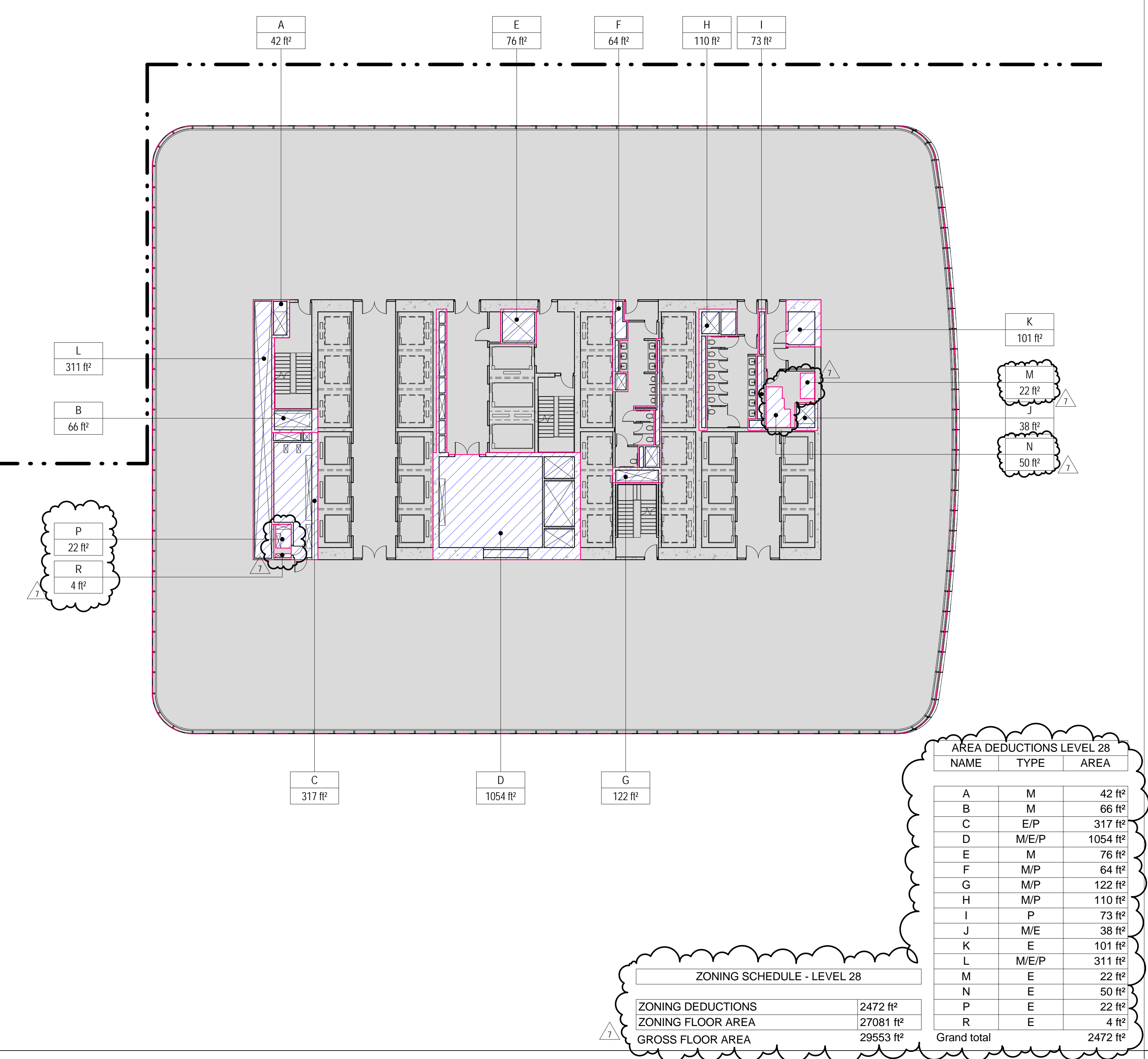
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**2 LEVEL 26 PLAN**  
SCALE: 1/16" = 1'-0"



**3 LEVEL 27 PLAN**  
SCALE: 1/16" = 1'-0"



**4 LEVEL 28 PLAN**  
SCALE: 1/16" = 1'-0"



- ZONING LEGENDS
- GROSS BUILDING AREA
  - ZONING AREA DEDUCTIONS
  - ZONING FLOOR AREA
  - RETAIL
  - MR MECHANICAL ROOM
  - M MECHANICAL
  - E ELECTRICAL/TEL./IT
  - P PLUMBING
  - EM ELEVATOR MACHINE ROOM



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250 State Street #11, North Haven, CT 06473

Blast Consultant  
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40 Wall Street, New York, NY 10005

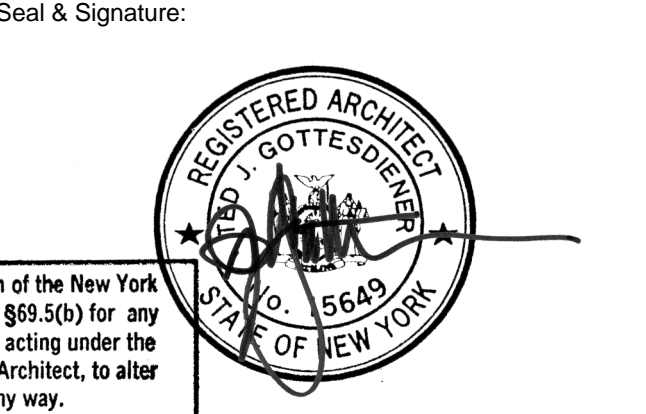
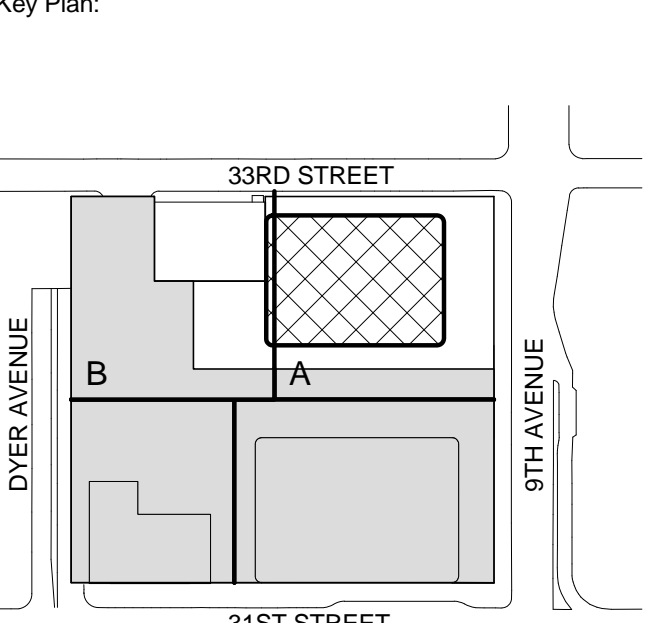
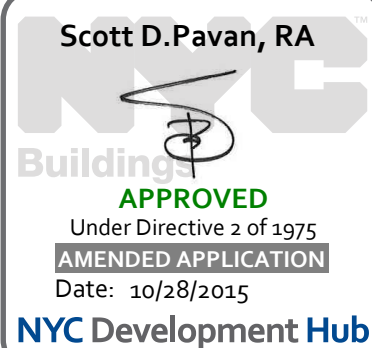
Acoustical Consultant  
Cerami & Associates  
404 Fifth Avenue #8, New York, NY 10016

Vibration Consultant  
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Code Consultants Professional Engineers PC  
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650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8



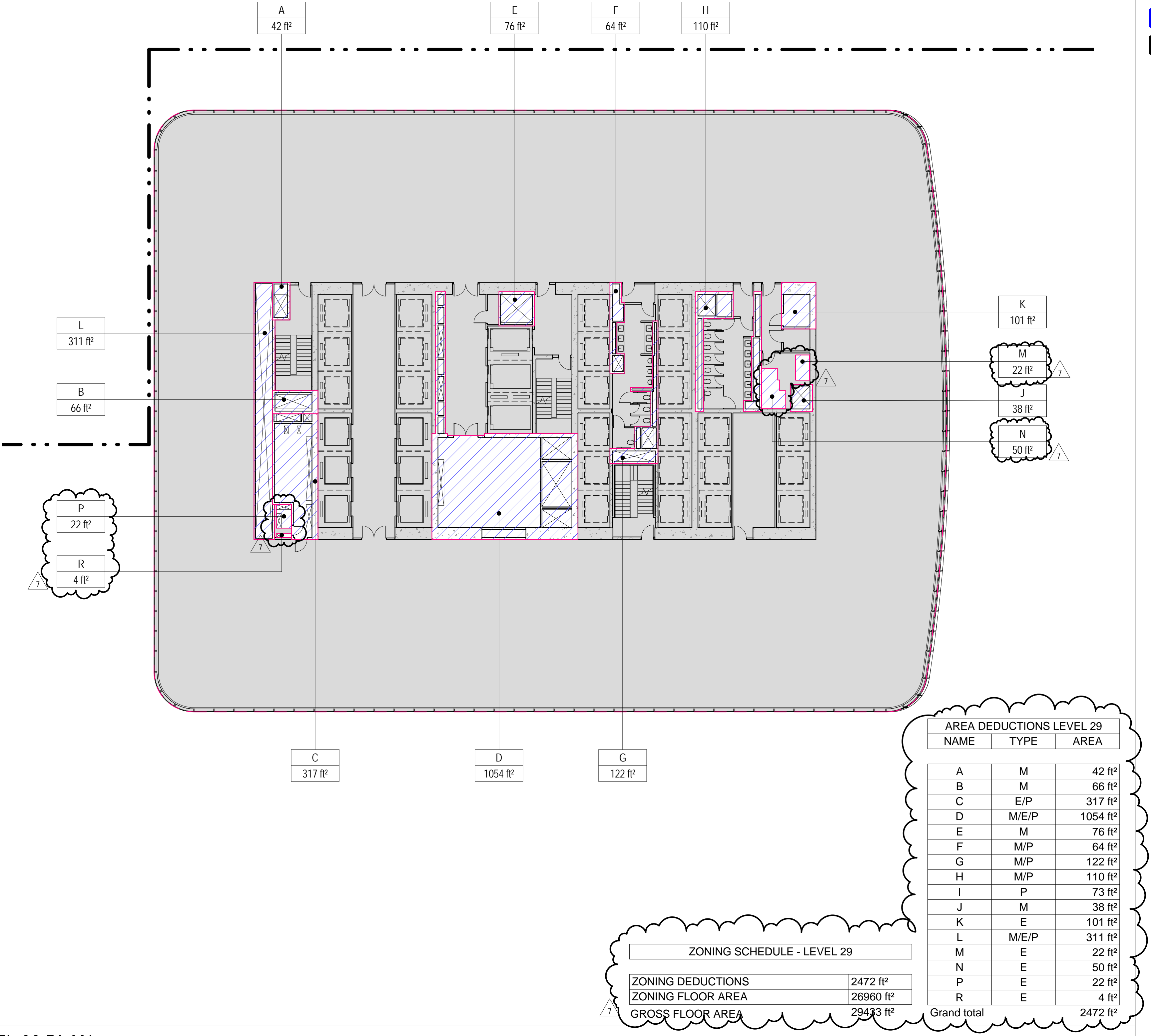
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3	15 DEC 2014	ISSUED FOR FOUNDATION PERMIT
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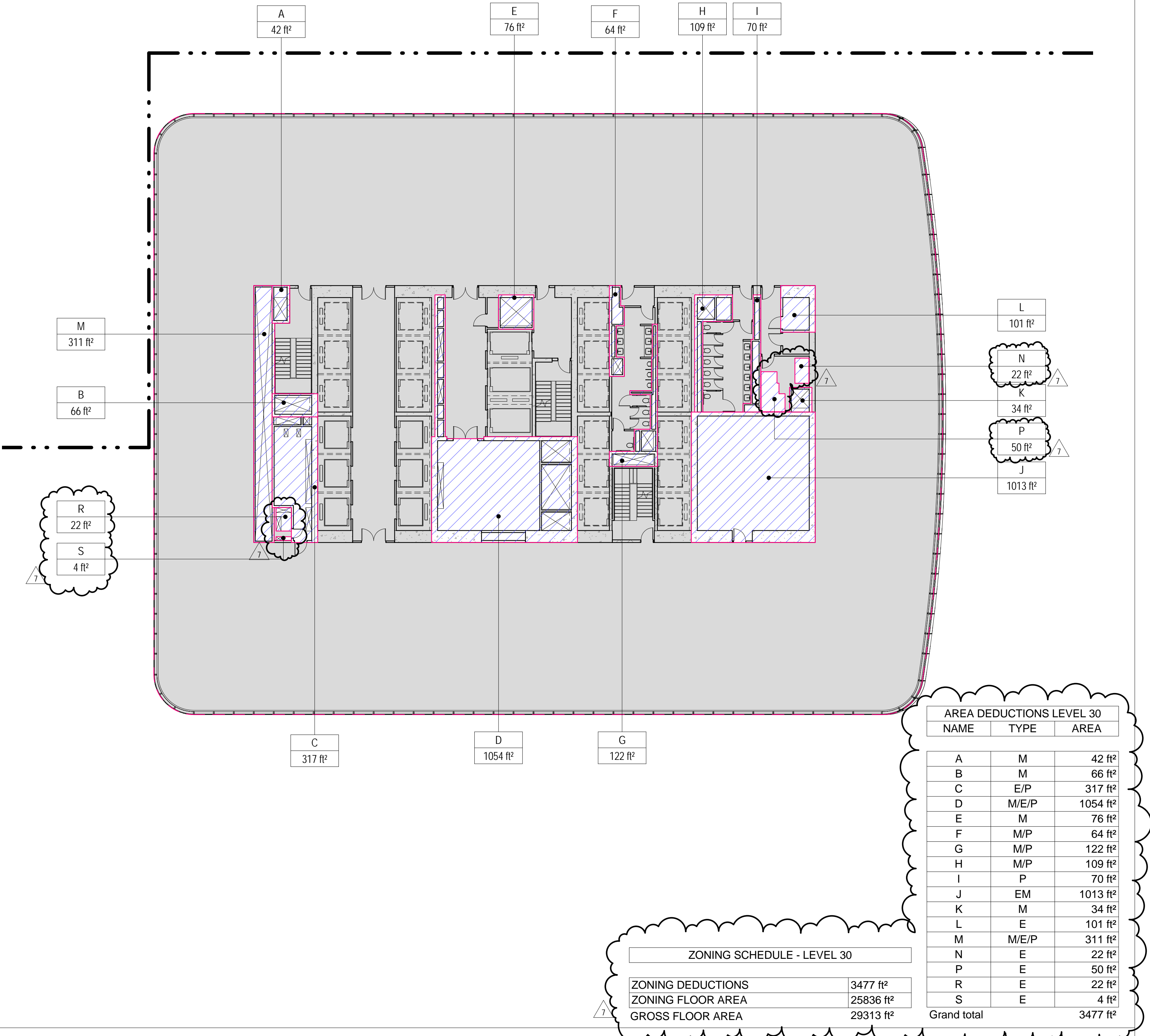
ZONING FLOOR AREA DEDUCTIONS - LEVEL 29-32

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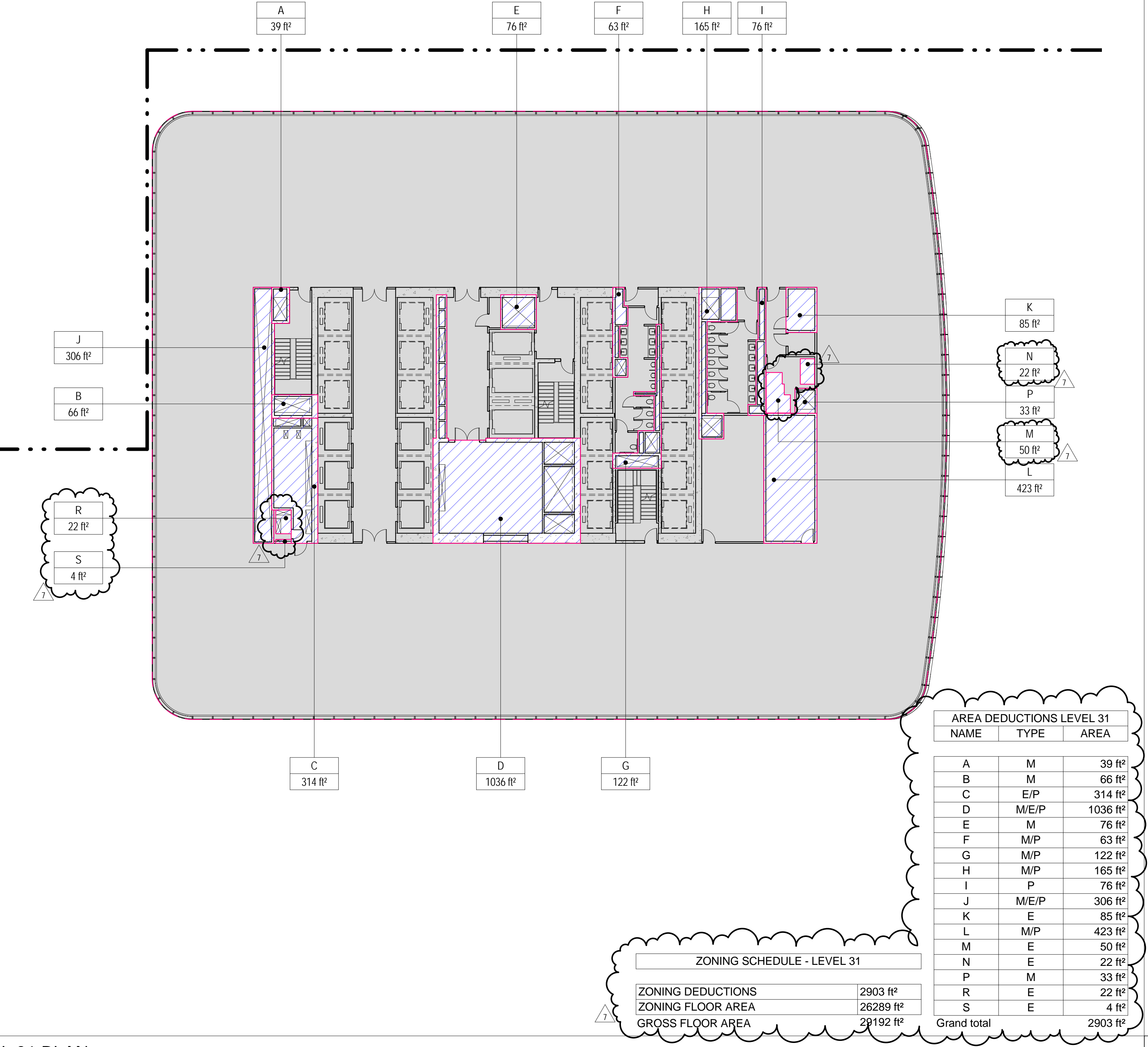
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Sheet No.:  
Page No.: 18 OF 30



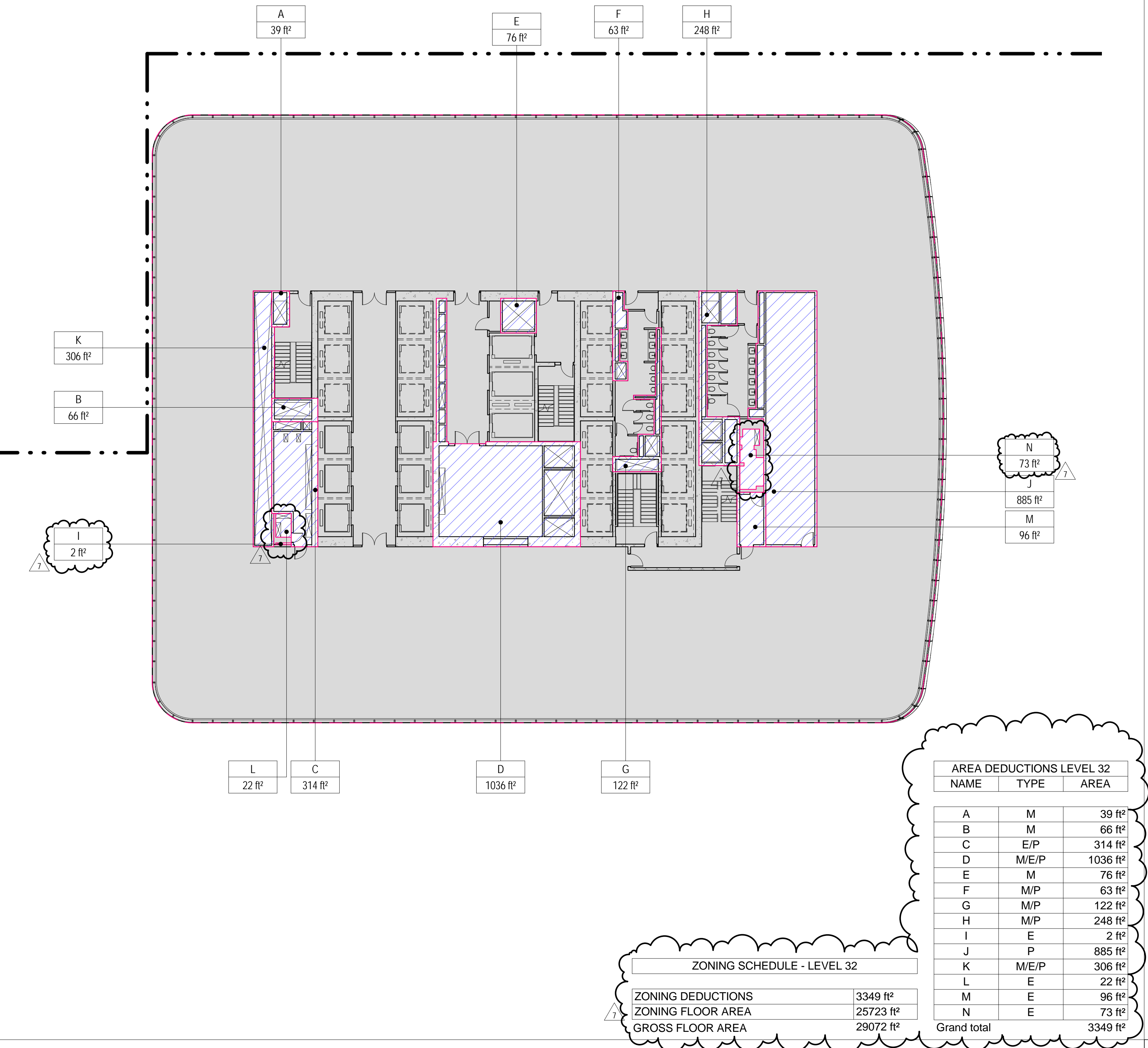
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2 LEVEL 30 PLAN  
SCALE: 1/16" = 1'-0"



3 LEVEL 31 PLAN  
SCALE: 1/16" = 1'-0"



4 LEVEL 32 PLAN  
SCALE: 1/16" = 1'-0"

09/27/2015 2:01:44 PM



- ZONING LEGENDS
- GROSS BUILDING AREA
  - ZONING AREA DEDUCTIONS
  - ZONING FLOOR AREA
  - RETAIL
  - MR MECHANICAL ROOM
  - M MECHANICAL
  - E ELECTRICAL/TEL./IT
  - P PLUMBING
  - EM ELEVATOR MACHINE ROOM



MANHATTAN WEST:  
NORTH TOWER  
375 Ninth Avenue, New York, NY 10001  
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Brookfield Place  
250 Vesey Street, 15th Floor, New York, NY 10021

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Mueser Rutledge Consulting Engineers  
14 Penn Plaza, 22nd W. 34th Street, New York, NY 10122

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250 State Street #F1, North Haven, CT 06473

Blast Consultant  
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40 Wall Street, New York, NY 10005

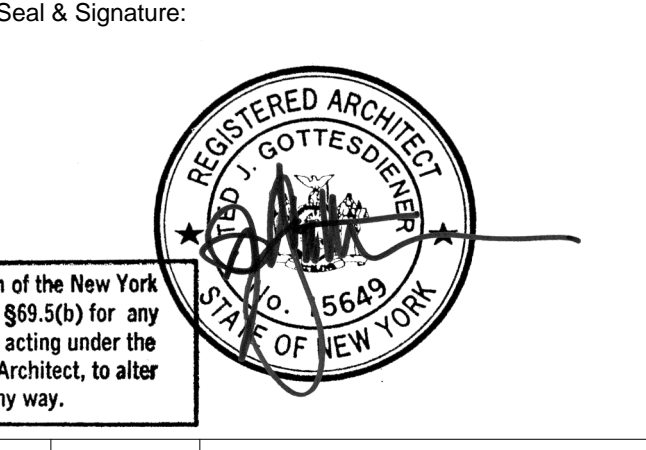
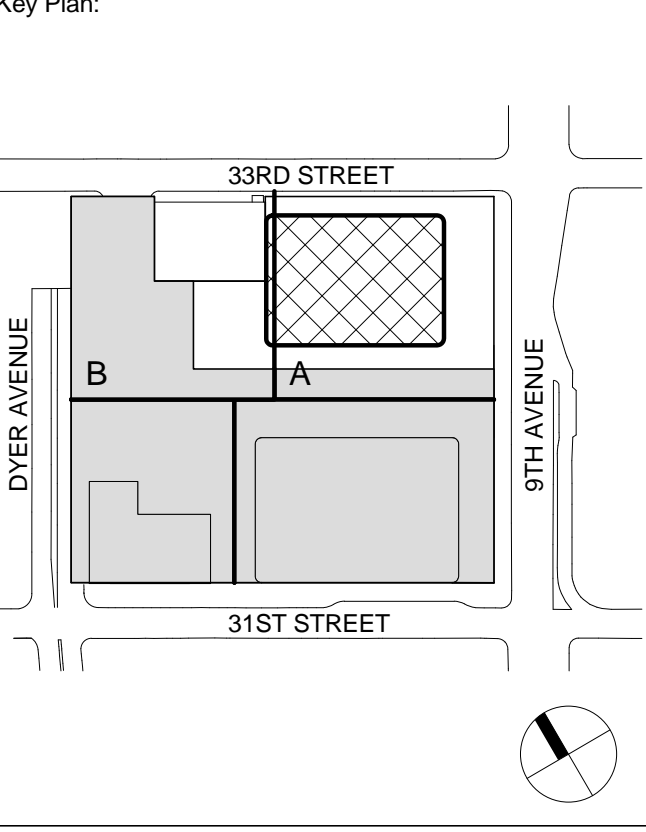
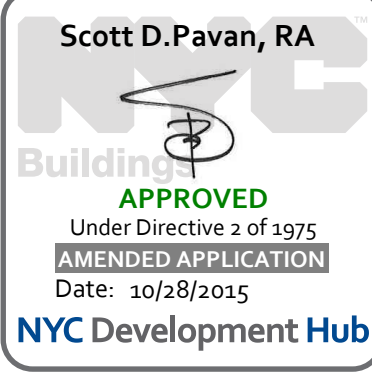
Acoustical Consultant  
Cerami & Associates  
404 Fifth Avenue #8, New York, NY 10016

Vibration Consultant  
Wilson, Uhrig & Associates, Inc.  
65 Broadway, Suite 401, New York, NY 10006

Code Consultants  
Code Consultants Professional Engineers PC  
215 West 40th Street, 15th Floor, New York, NY 10018

Facade Maintenance Consultant  
Entek Engineering LLC  
166 Ames Street, Hackensack, NJ 07601

Wind Tunnel Consultant  
Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8

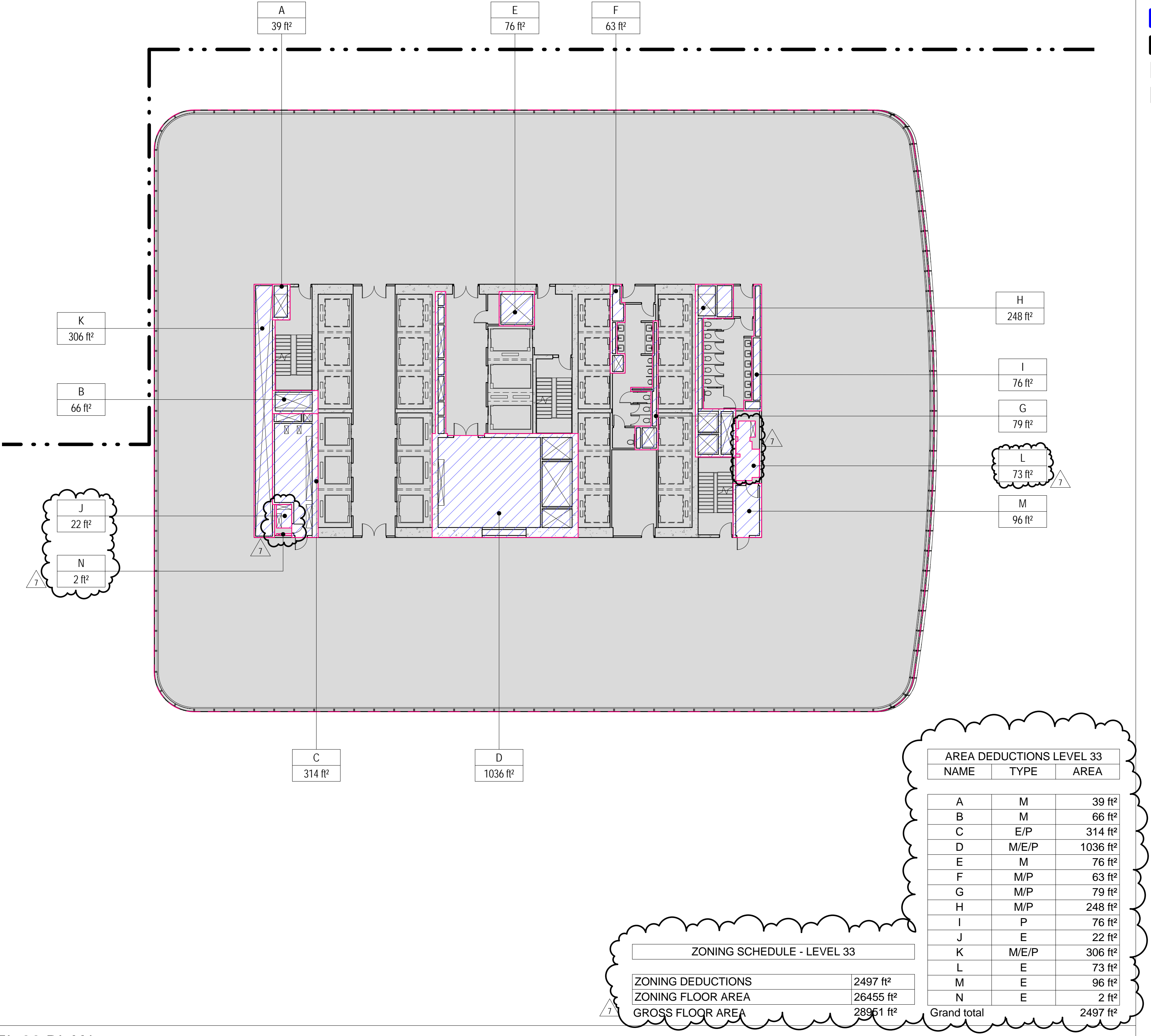


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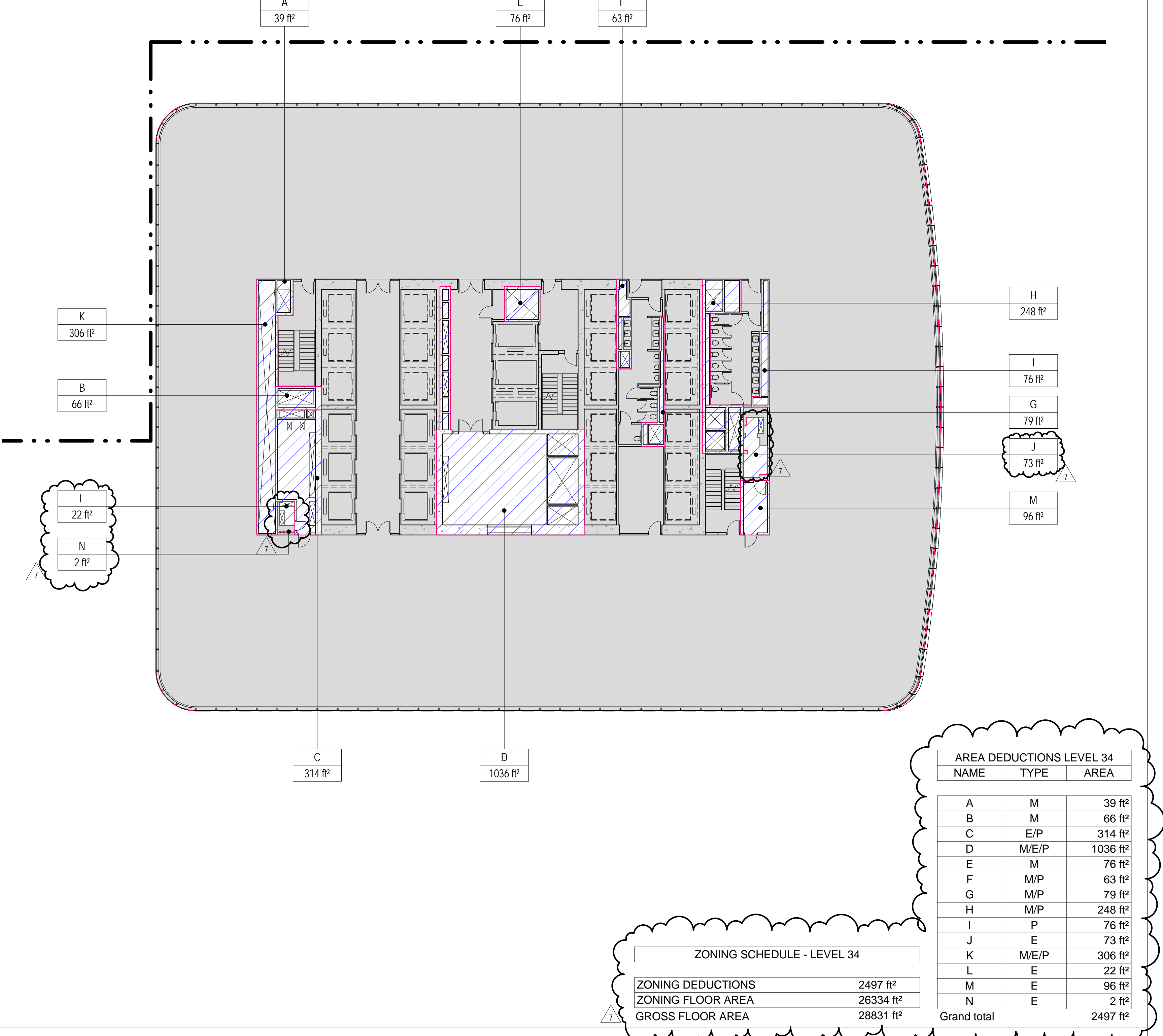
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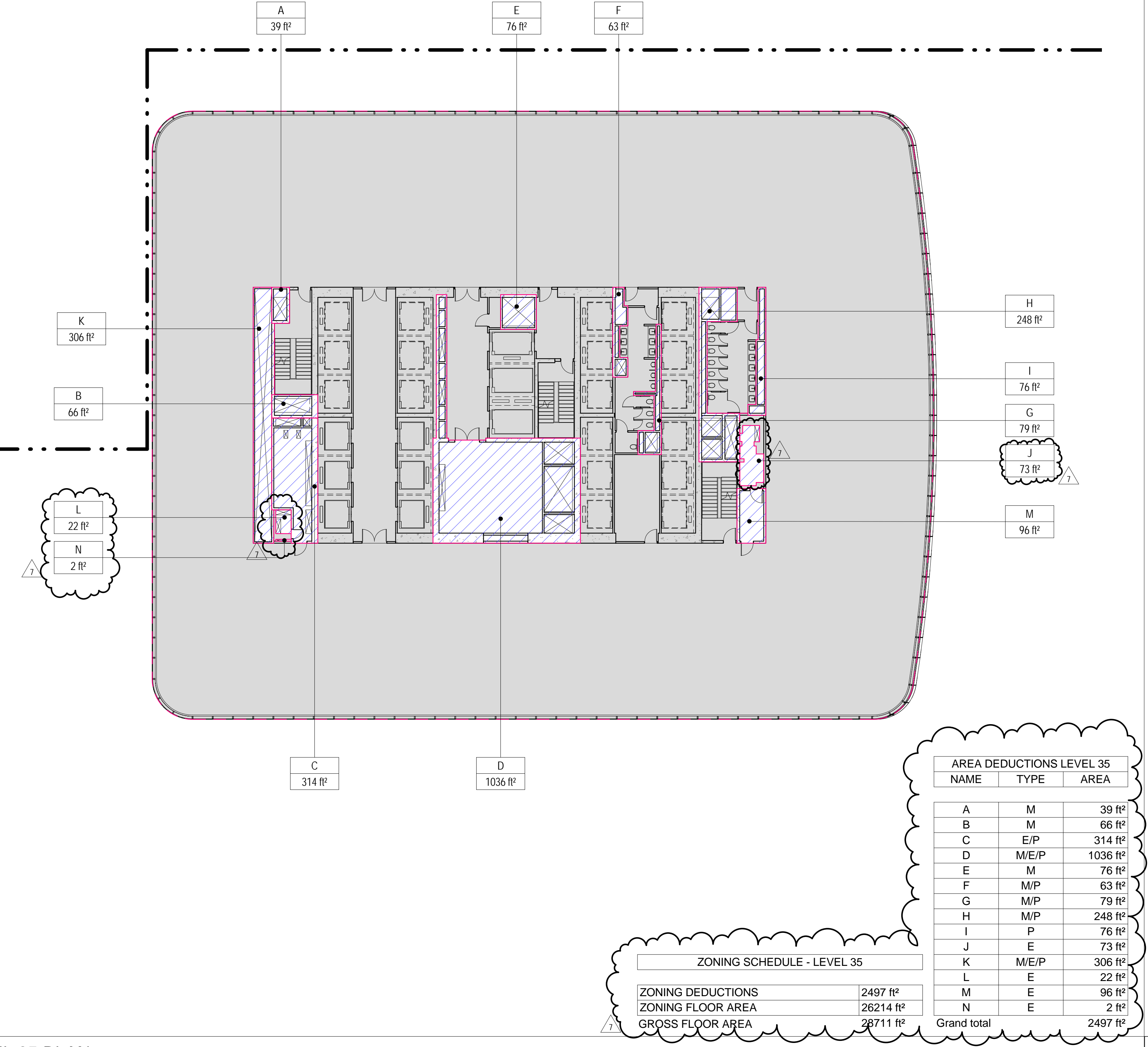
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**Z-112.01**  
Sheet No.:  
**Z-112**  
Page No.: 19 OF 30



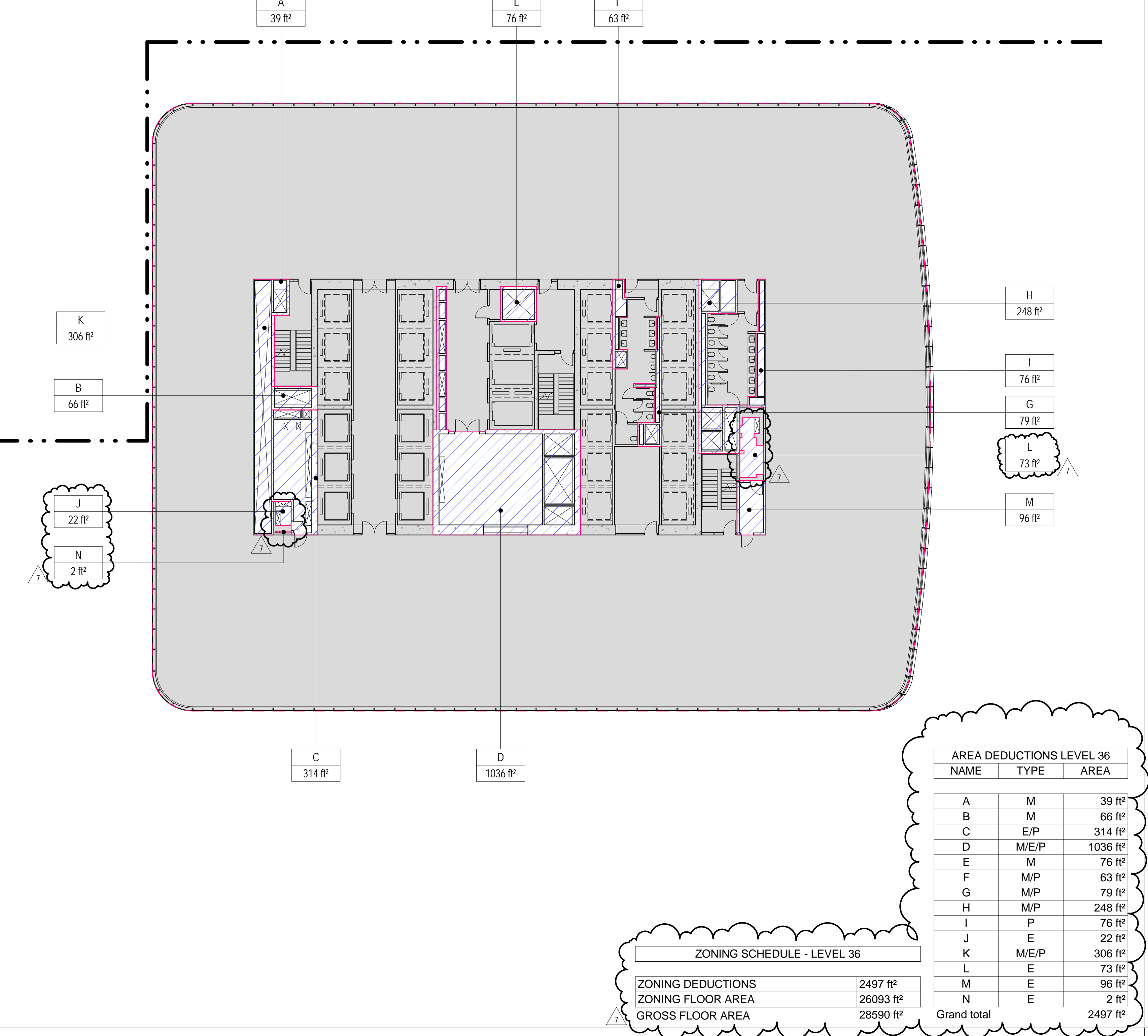
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2 LEVEL 34 PLAN  
SCALE: 1/16" = 1'-0"



3 LEVEL 35 PLAN  
SCALE: 1/16" = 1'-0"



4 LEVEL 36 PLAN  
SCALE: 1/16" = 1'-0"





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Scott D. Pavan, RA

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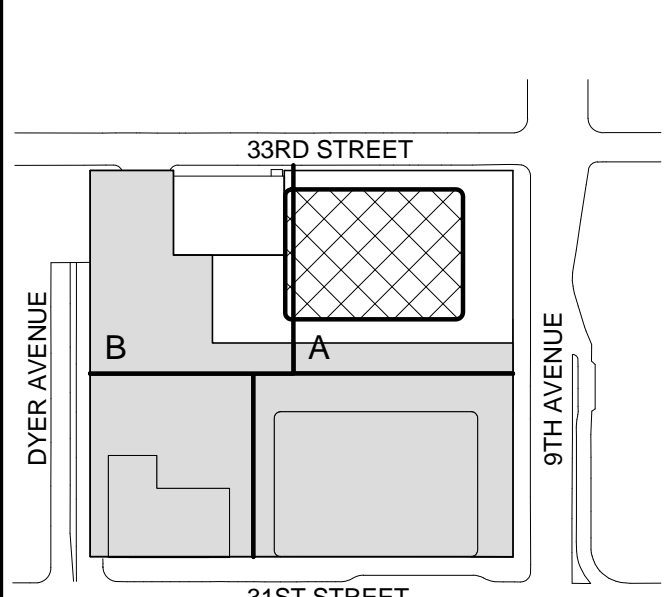
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MANHATTAN WEST

Date: 10/08/2015

NYC Development Hub

Key Plan:



Seal & Signature:



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ZONING LEGENDS

GROSS BUILDING AREA

ZONING AREA DEDUCTIONS

ZONING FLOOR AREA

RETAIL

MR MECHANICAL ROOM

M MECHANICAL

E ELECTRICAL/TEL/IT

P PLUMBING

EM ELEVATOR MACHINE ROOM

AREA DEDUCTIONS LEVEL 39		
NAME	TYPE	AREA

A	M	39 ft²
B	M	66 ft²
C	E/P	314 ft²
D	M/E/P	1036 ft²
E	M	76 ft²
F	M/P	63 ft²
G	M/P	79 ft²
H	M/P	248 ft²
I	P	76 ft²
J	E	73 ft²
K	M/E/P	306 ft²
L	E	22 ft²
M	E	96 ft²
N	E	2 ft²
Grand total		2497 ft²

ZONING SCHEDULE - LEVEL 39

ZONING DEDUCTIONS	2497 ft²
ZONING FLOOR AREA	25732 ft²
GROSS FLOOR AREA	28229 ft²

AREA DEDUCTIONS LEVEL 37		
NAME	TYPE	AREA

A	M	39 ft²
B	M	66 ft²
C	E/P	314 ft²
D	M/E/P	1036 ft²
E	M	76 ft²
F	M/P	63 ft²
G	M/P	79 ft²
H	M/P	248 ft²
I	P	76 ft²
J	E	73 ft²
K	M/E/P	306 ft²
L	E	22 ft²
M	E	96 ft²
N	E	2 ft²
Grand total		2497 ft²

ZONING SCHEDULE - LEVEL 37

ZONING DEDUCTIONS	2497 ft²
ZONING FLOOR AREA	25973 ft²
GROSS FLOOR AREA	28430 ft²

AREA DEDUCTIONS LEVEL 40		
NAME	TYPE	AREA

A	M	39 ft²
B	M	66 ft²
C	E/P	314 ft²
D	M/E/P	1036 ft²
E	M	76 ft²
F	M/P	63 ft²
G	M/P	79 ft²
H	M/P	248 ft²
I	P	76 ft²
J	E	73 ft²
K	M/E/P	306 ft²
L	E	22 ft²
M	E	96 ft²
N	E	2 ft²
Grand total		2497 ft²

ZONING SCHEDULE - LEVEL 40

ZONING DEDUCTIONS	2497 ft²
ZONING FLOOR AREA	25613 ft²
GROSS FLOOR AREA	28109 ft²

AREA DEDUCTIONS LEVEL 38		
NAME	TYPE	AREA

A	M	39 ft²
B	M	66 ft²
C	E/P	314 ft²
D	M/E/P	1036 ft²
E	M	76 ft²
F	M/P	63 ft²
G	M/P	79 ft²
H	M/P	248 ft²
I	P	76 ft²
J	E	73 ft²
K	M/E/P	306 ft²
L	E	22 ft²
M	E	96 ft²
N	E	2 ft²
Grand total		2497 ft²

ZONING SCHEDULE - LEVEL 38

ZONING DEDUCTIONS	2497 ft²
ZONING FLOOR AREA	25853 ft²
GROSS FLOOR AREA	28349 ft²

3 LEVEL 39 PLAN

SCALE: 1/16" = 1'-0"

1 LEVEL 37 PLAN

SCALE: 1/16" = 1'-0"

4 LEVEL 40 PLAN

SCALE: 1/16" = 1'-0"

2 LEVEL 38 PLAN

SCALE: 1/16" = 1'-0"



- ZONING LEGENDS
- GROSS BUILDING AREA
  - ZONING AREA DEDUCTIONS
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14 Penn Plaza, 225 W. 34th Street, New York, NY 10122

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475 10th Avenue, New York, NY 10018

Security Consultant  
Ducibella, Vantor & Santoro  
250 State Street #F1, North Haven, CT 06473

Blast Consultant  
Weidinger Associates, Inc.  
40 Wall Street, New York, NY 10005

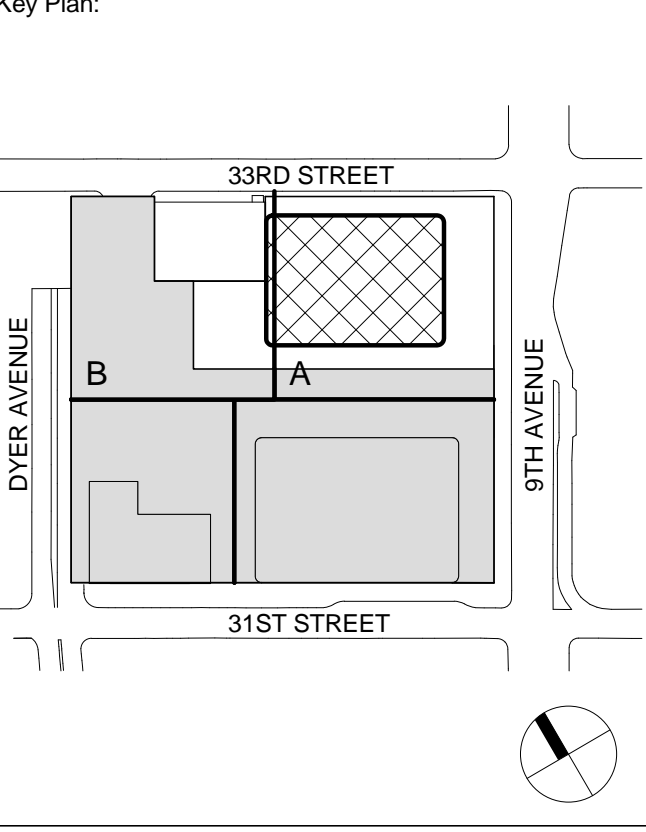
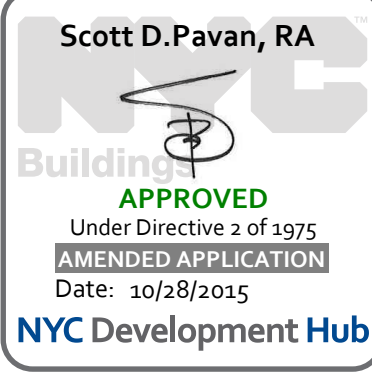
Acoustical Consultant  
Cerami & Associates  
404 Fifth Avenue #8, New York, NY 10016

Vibration Consultant  
Wilson, Uhrig & Associates, Inc.  
65 Broadway, Suite 401, New York, NY 10006

Code Consultants  
Code Consultants Professional Engineers PC  
215 West 40th Street, 15th Floor, New York, NY 10018

Facade Maintenance Consultant  
Entek Engineering LLC  
166 Ames Street, Hackensack, NJ 07601

Wind Tunnel Consultant  
Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8



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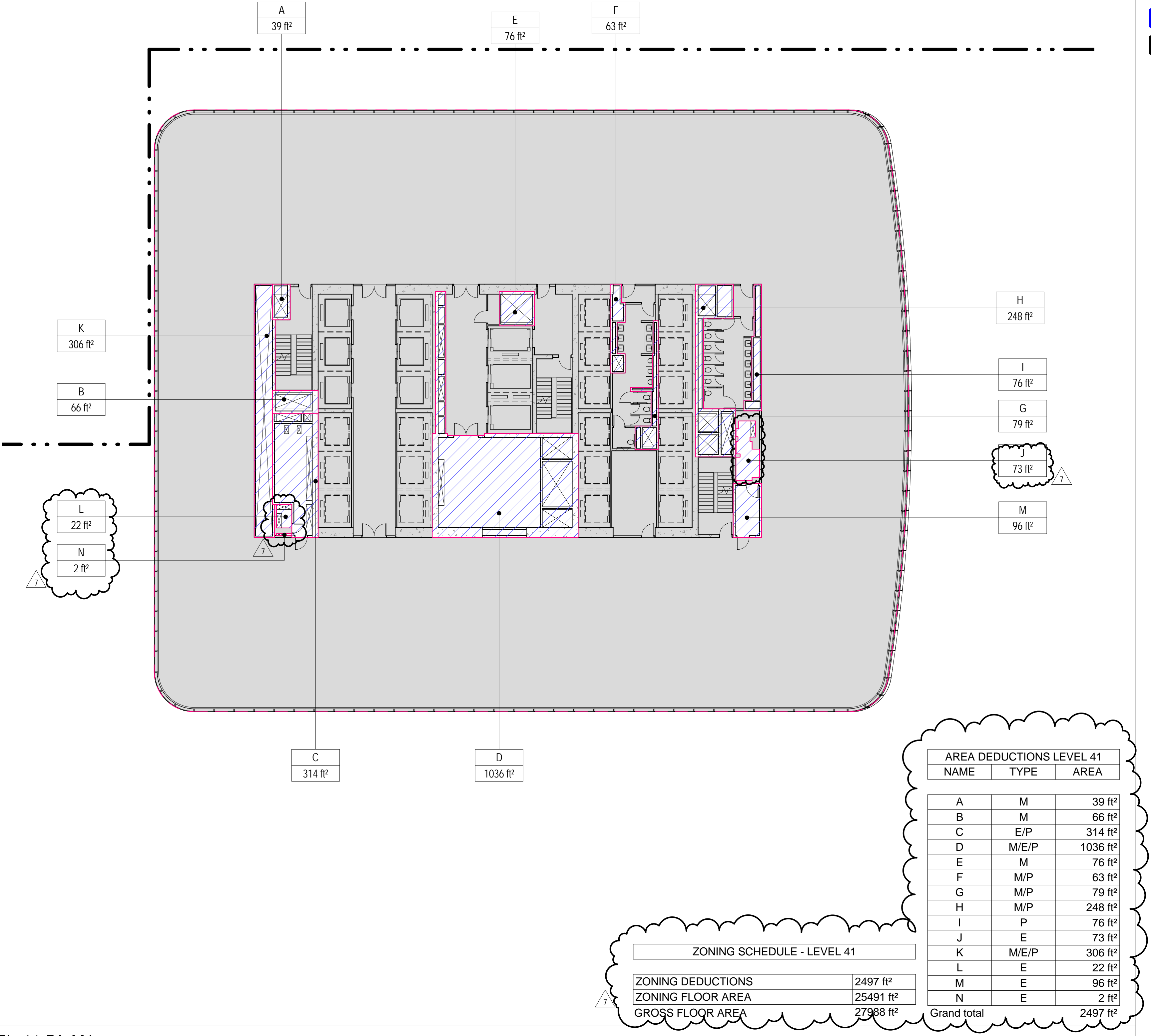
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5	12 MAY 2015	ISSUED FOR BUILDING PERMIT
4	26 FEB 2015	ISSUED FOR BUILDING PERMIT
3	19 DEC 2014	ISSUED FOR FOUNDATION PERMIT
2	20 JUN 2014	ISSUED FOR FOUNDATION PERMIT
1	20 DEC 2013	ISSUED FOR FOUNDATION PERMIT

No. \_\_\_\_\_ Date \_\_\_\_\_ Description \_\_\_\_\_  
Sheet Name: \_\_\_\_\_

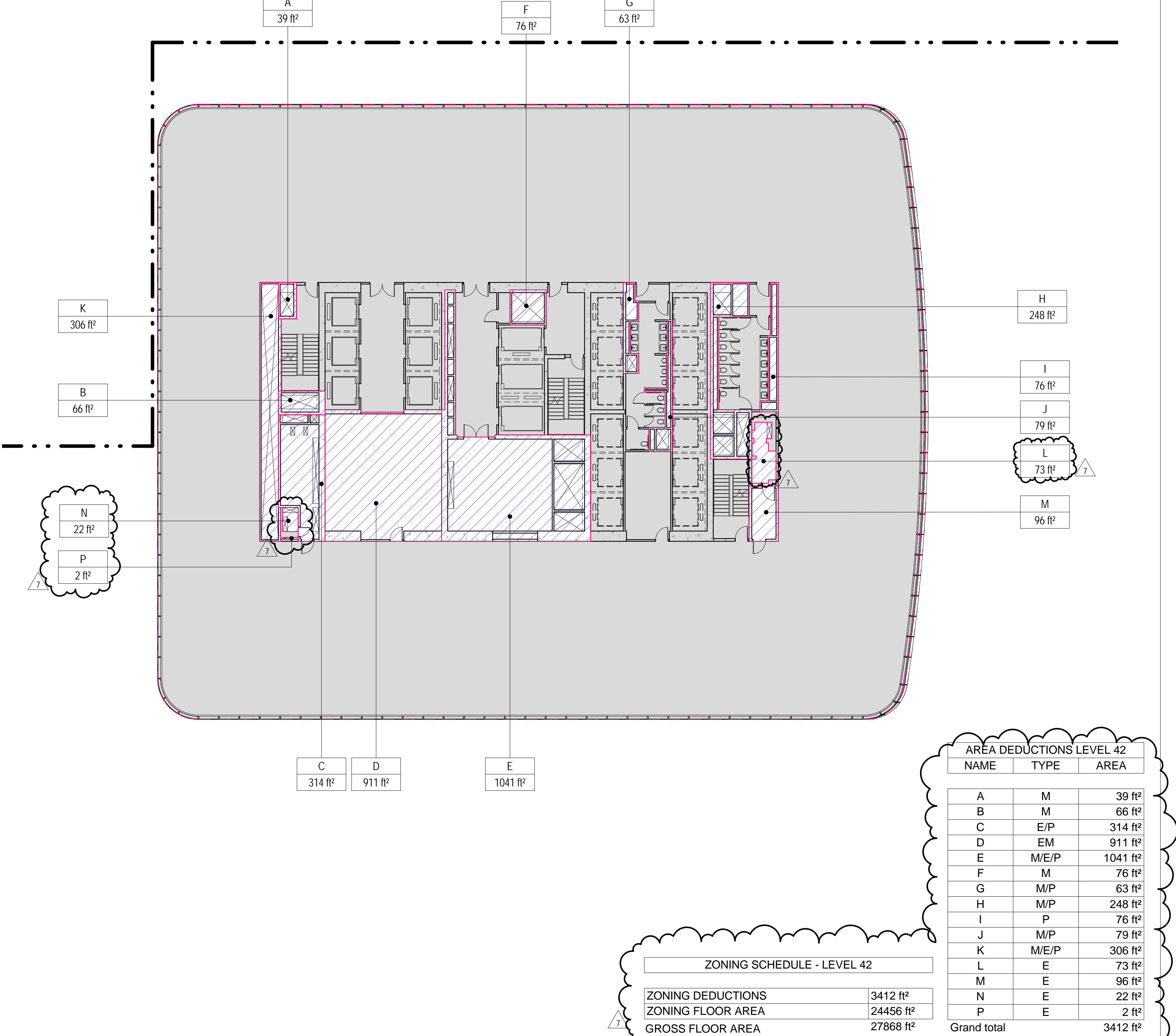
**ZONING FLOOR AREA DEDUCTIONS - LEVEL 41-44**

Project No.: 207150  
Date: 07 OCT 2015  
Scale: 1/16" = 1'-0"  
File No.: Z-114

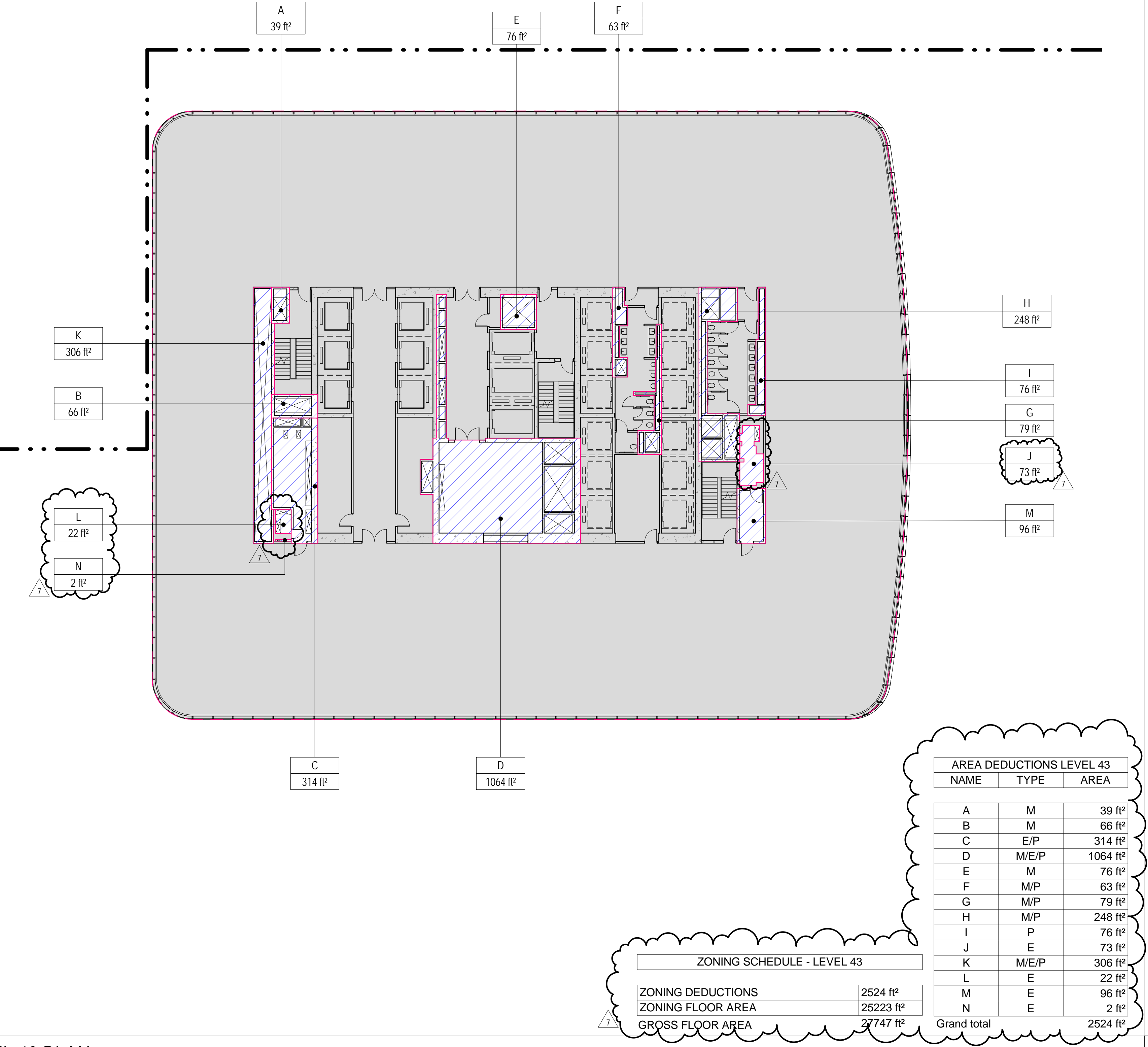
B-SCAN Sheet No.:  
**Z-114.01**  
Sheet No.: Z-114  
Page No.: 21 OF 30



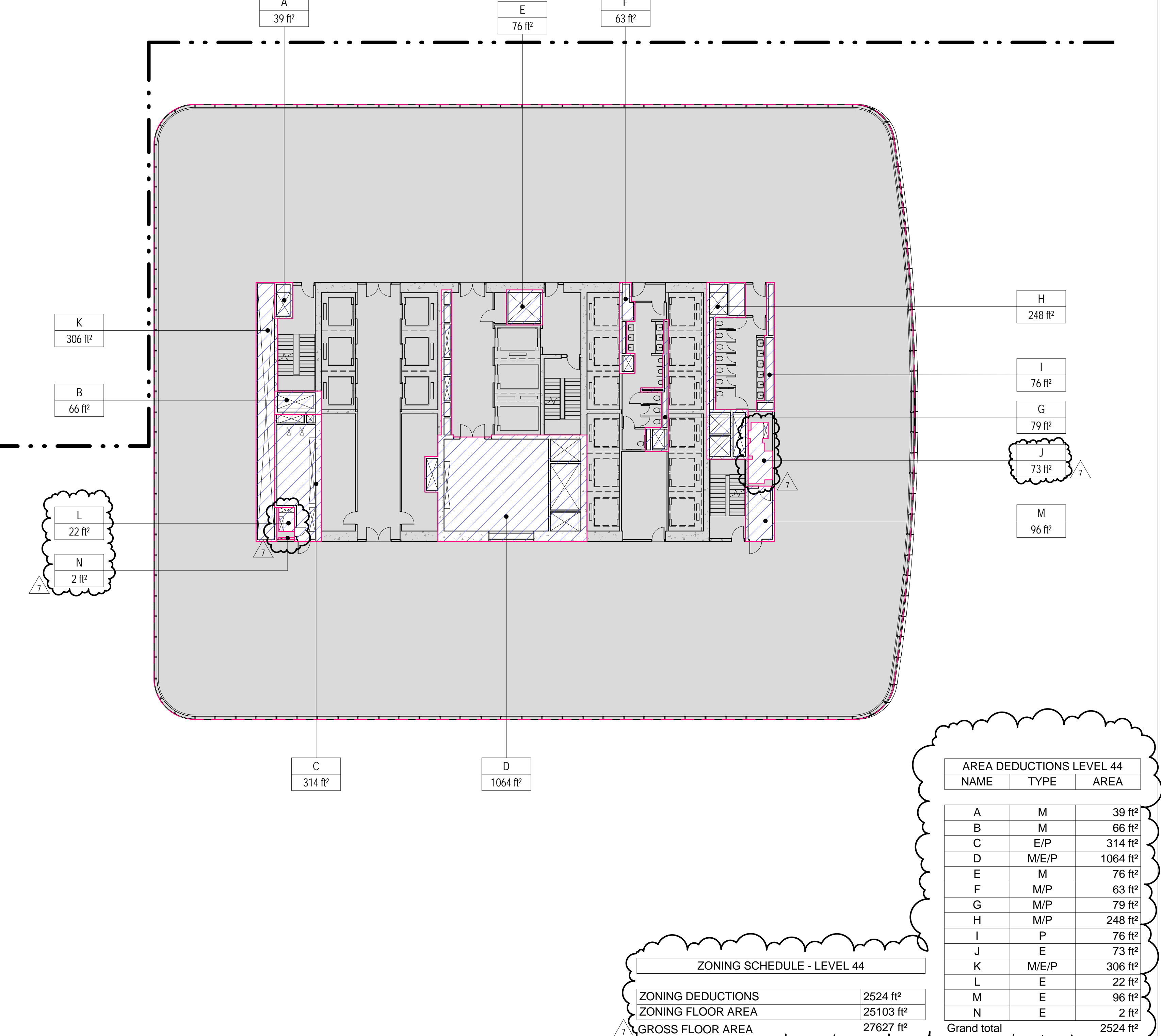
**1 LEVEL 41 PLAN**  
SCALE: 1/16" = 1'-0"



**2 LEVEL 42 PLAN**  
SCALE: 1/16" = 1'-0"



**3 LEVEL 43 PLAN**  
SCALE: 1/16" = 1'-0"



**4 LEVEL 44 PLAN**  
SCALE: 1/16" = 1'-0"



- ZONING LEGENDS**
- GROSS BUILDING AREA
  - ZONING AREA DEDUCTIONS
  - ZONING FLOOR AREA
  - RETAIL
  - MR MECHANICAL ROOM
  - M MECHANICAL
  - E ELECTRICAL/TEL/IT
  - P PLUMBING
  - EM ELEVATOR MACHINE ROOM



**MANHATTAN WEST:  
NORTH TOWER**  
375 Ninth Avenue, New York, NY 10001  
Client

**Brookfield**  
Brookfield Place  
250 Vesey Street, 15th Floor, New York, NY 10021

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MEP Engineering  
Jaros Baum & Bolles  
80 Pine Street, New York, NY 10005

Vertical Transportation  
Edgett Williams Consulting Group, Inc.  
102 East Bluffside Ave., Suite 1, Mill Valley, California 94041

Sustainable Design  
Viridian Energy & Environmental  
50 Washington Street, Newark, CT 06854

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Mueser Rutledge Consulting Engineers  
14 Penn Plaza, 22nd W, 34th Street, New York, NY 10122

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250 State Street #F1, North Haven, CT 06473

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Cerami & Associates  
404 Fifth Avenue #8, New York, NY 10018

Vibration Consultant  
Wilson, Uhrig & Associates, Inc.  
65 Broadway, Suite 401, New York, NY 10006

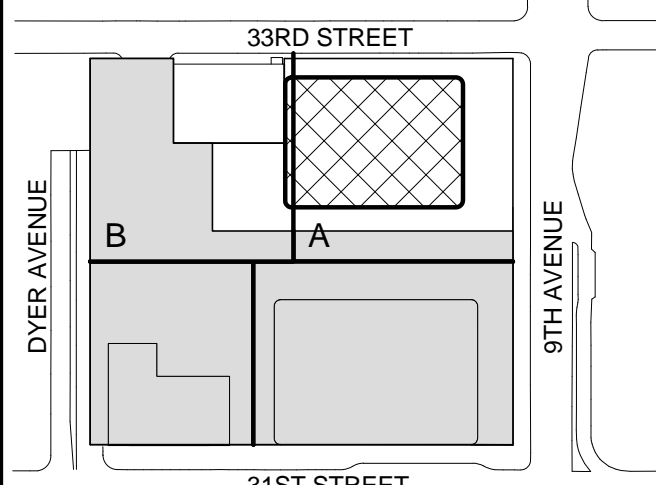
Code Consultant  
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215 West 40th Street, 15th Floor, New York, NY 10018

Facade Maintenance Consultant  
Entek Engineering LLC  
166 Ames Street, Hackensack, NJ 07601

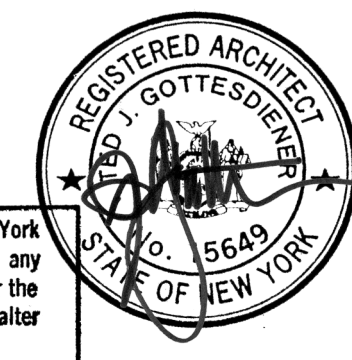
Wind Tunnel Consultant  
Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8



Key Plan:



Seal & Signature:

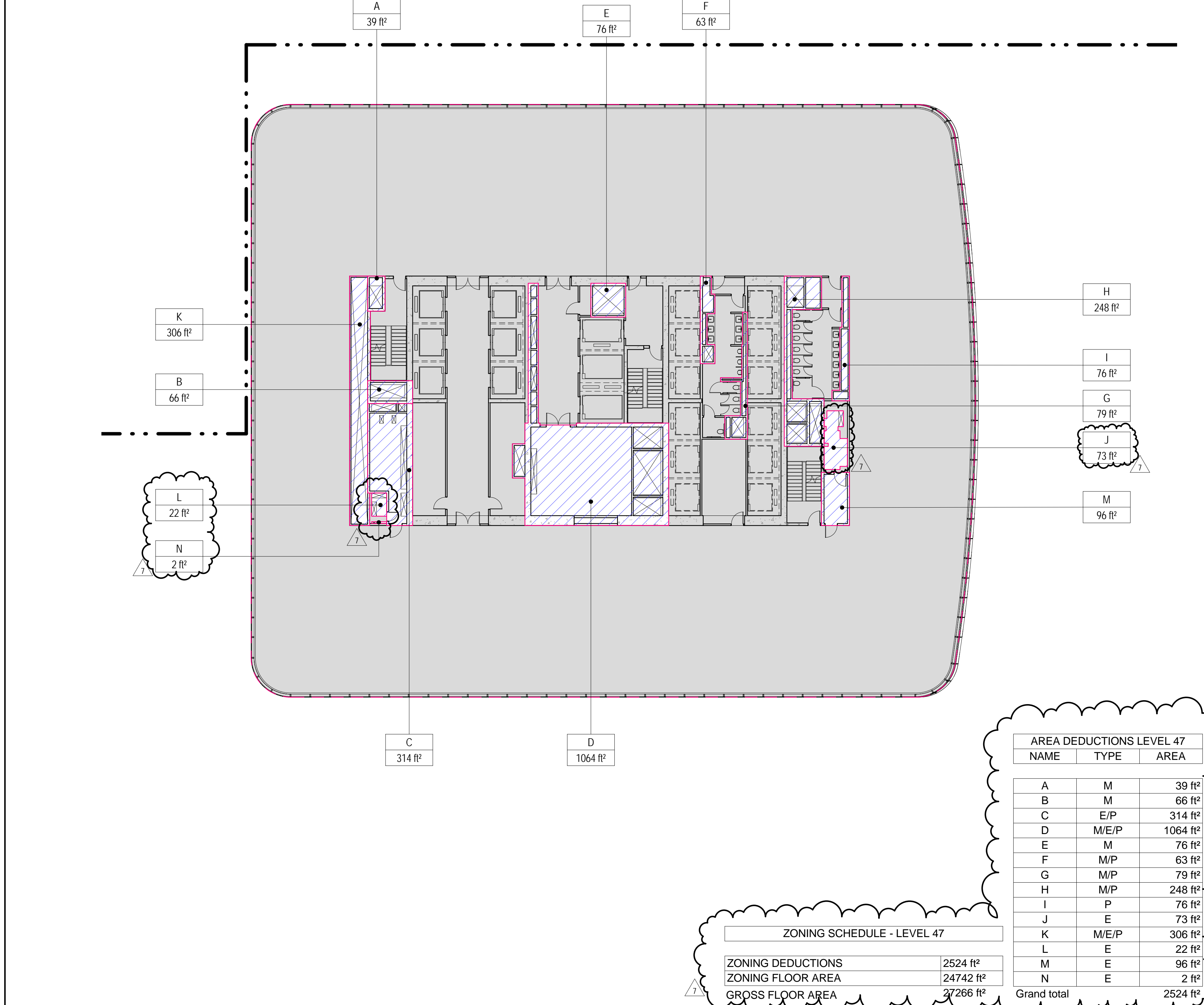


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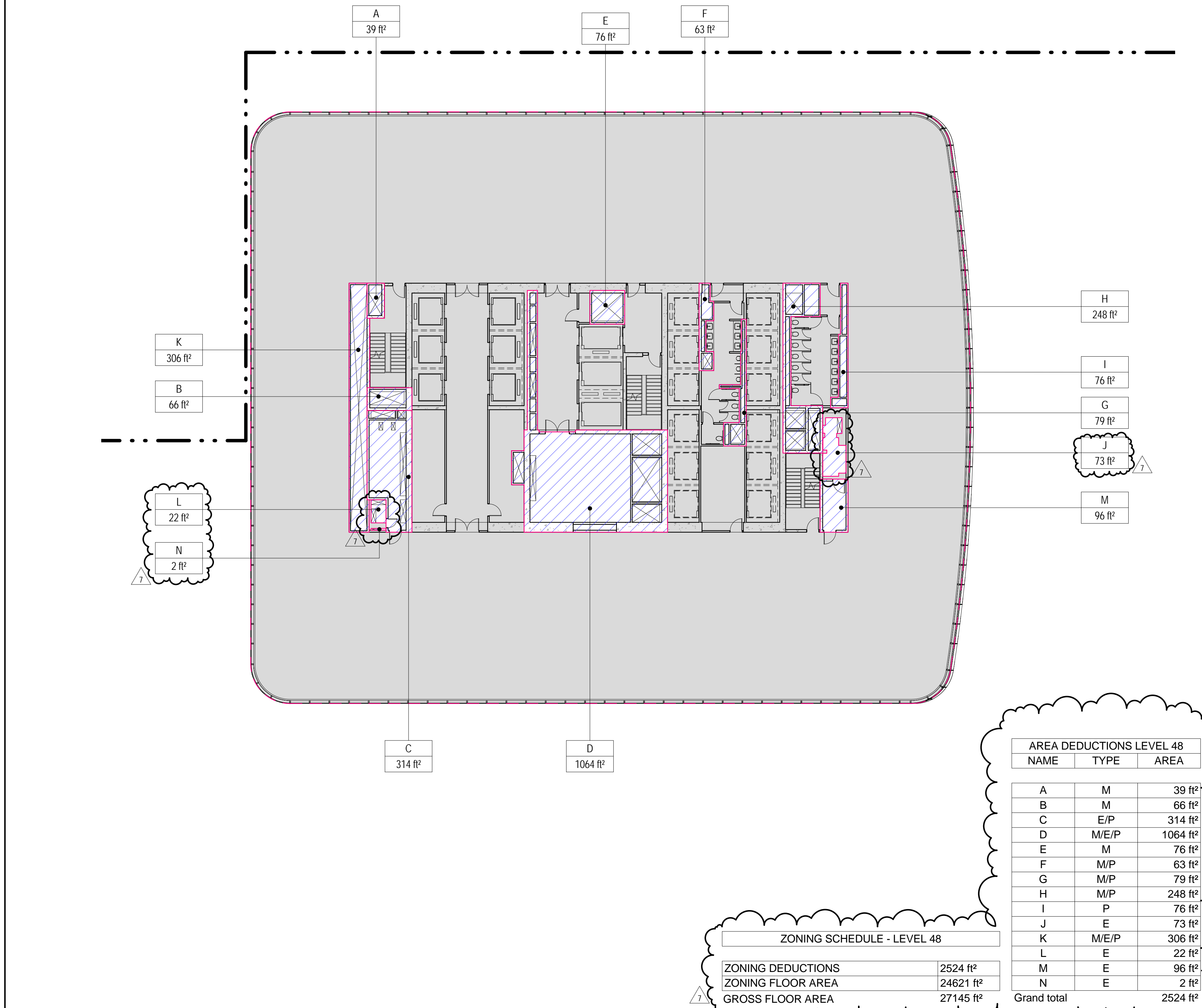
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4	26 FEB 2015	ISSUED FOR BUILDING PERMIT
3	15 DEC 2014	ISSUED FOR FOUNDATION PERMIT
2	20 JUN 2014	ISSUED FOR FOUNDATION PERMIT
1	20 DEC 2013	ISSUED FOR FOUNDATION PERMIT

**ZONING FLOOR  
AREA  
DEDUCTIONS -  
LEVEL 45-48**

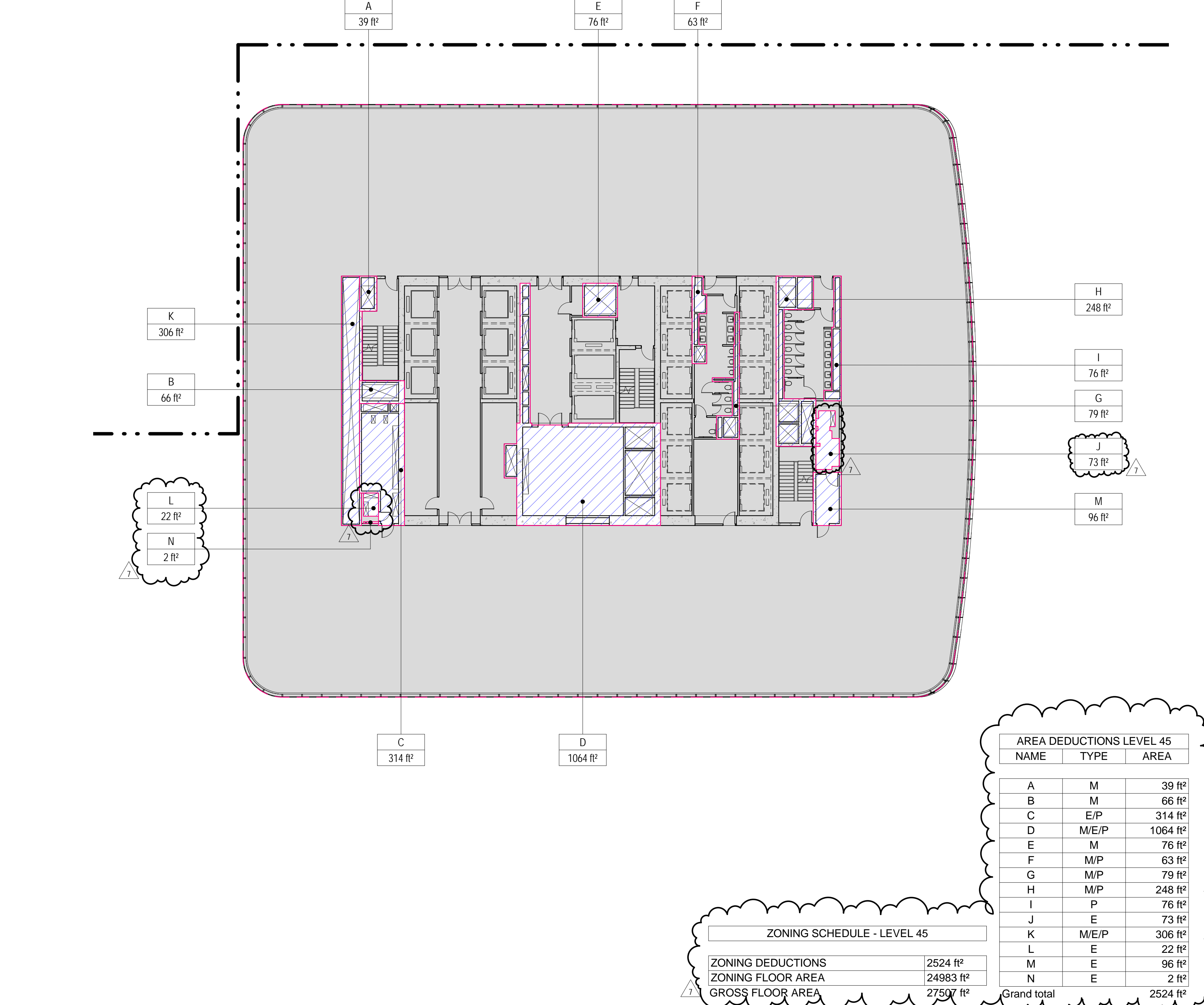
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Date: 07 OCT 2015	Sheet No.: Z-115
Scale: 1/16" = 1'-0"	Page No.: 22 OF 30
File No.: Z-115	



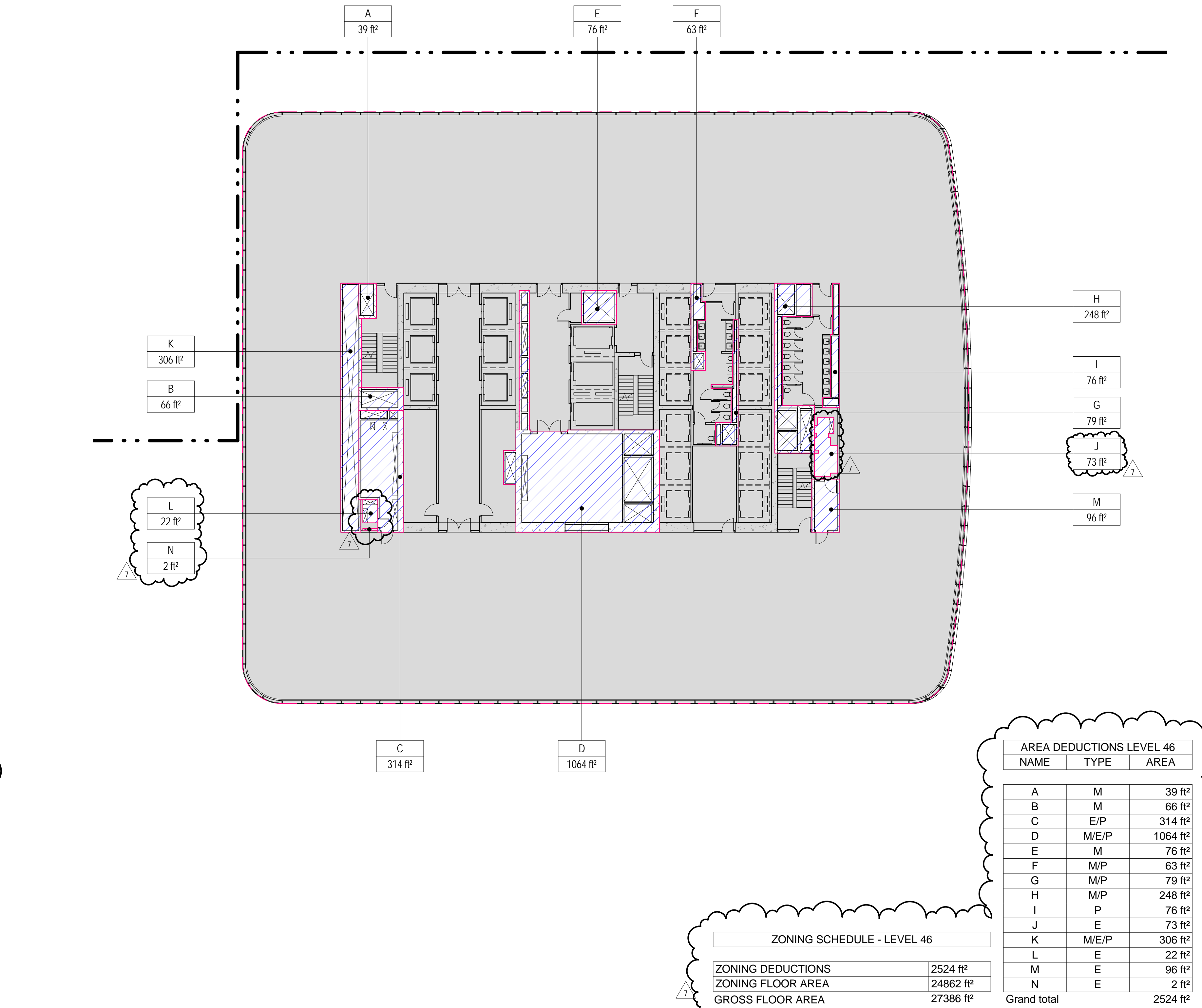
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SCALE: 1/16" = 1'-0"



**4 LEVEL 48 PLAN**  
SCALE: 1/16" = 1'-0"



**1 LEVEL 45 PLAN**  
SCALE: 1/16" = 1'-0"



**2 LEVEL 46 PLAN**  
SCALE: 1/16" = 1'-0"





MANHATTAN WEST:  
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**Brookfield**  
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102 Madison Avenue #11, New York, NY 10016

MEP Engineering

Jaros Baum & Boles  
80 Pine Street, New York, NY 10005

Vertical Transportation

Edgett Williams Consulting Group, Inc.  
102 East Bluffside Ave., Suite 1, Mill Valley, California 94941

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Viridian Energy & Environmental  
50 Washington Street, Newark, CT 06854

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Mueser Rutledge Consulting Engineers  
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Field Operations  
475 10th Avenue, New York, NY 10018

Security Consultant

Ducibella, Vantor & Santoro  
250 State Street #F1, North Haven, CT 06473

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Acoustical Consultant

Cerami & Associates  
404 Fifth Avenue #8, New York, NY 10018

Vibration Consultant

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65 Broadway, Suite 401, New York, NY 10006

Code Consultant

Code Consultants Professional Engineers PC  
215 West 40th Street, 15th Floor, New York, NY 10018

Facade Maintenance Consultant

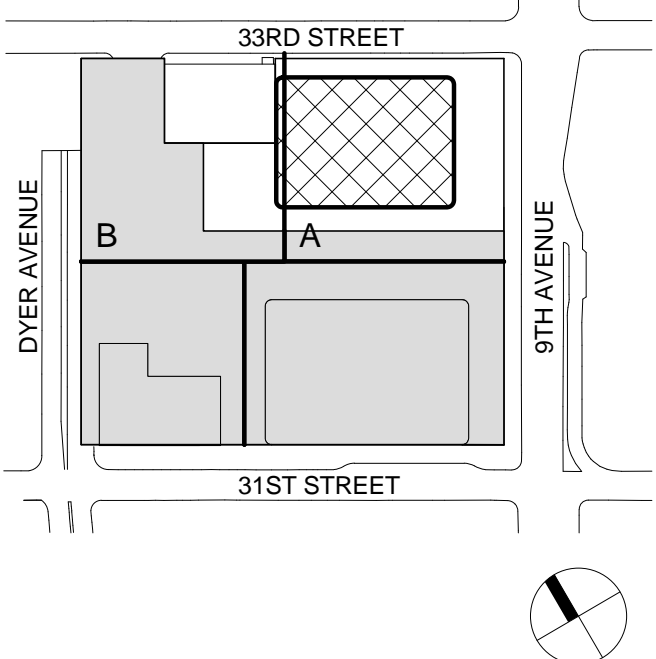
Entek Engineering LLC  
166 Ames Street, Hackensack, NJ 07601

Wind Tunnel Consultant

Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8



Key Plan:



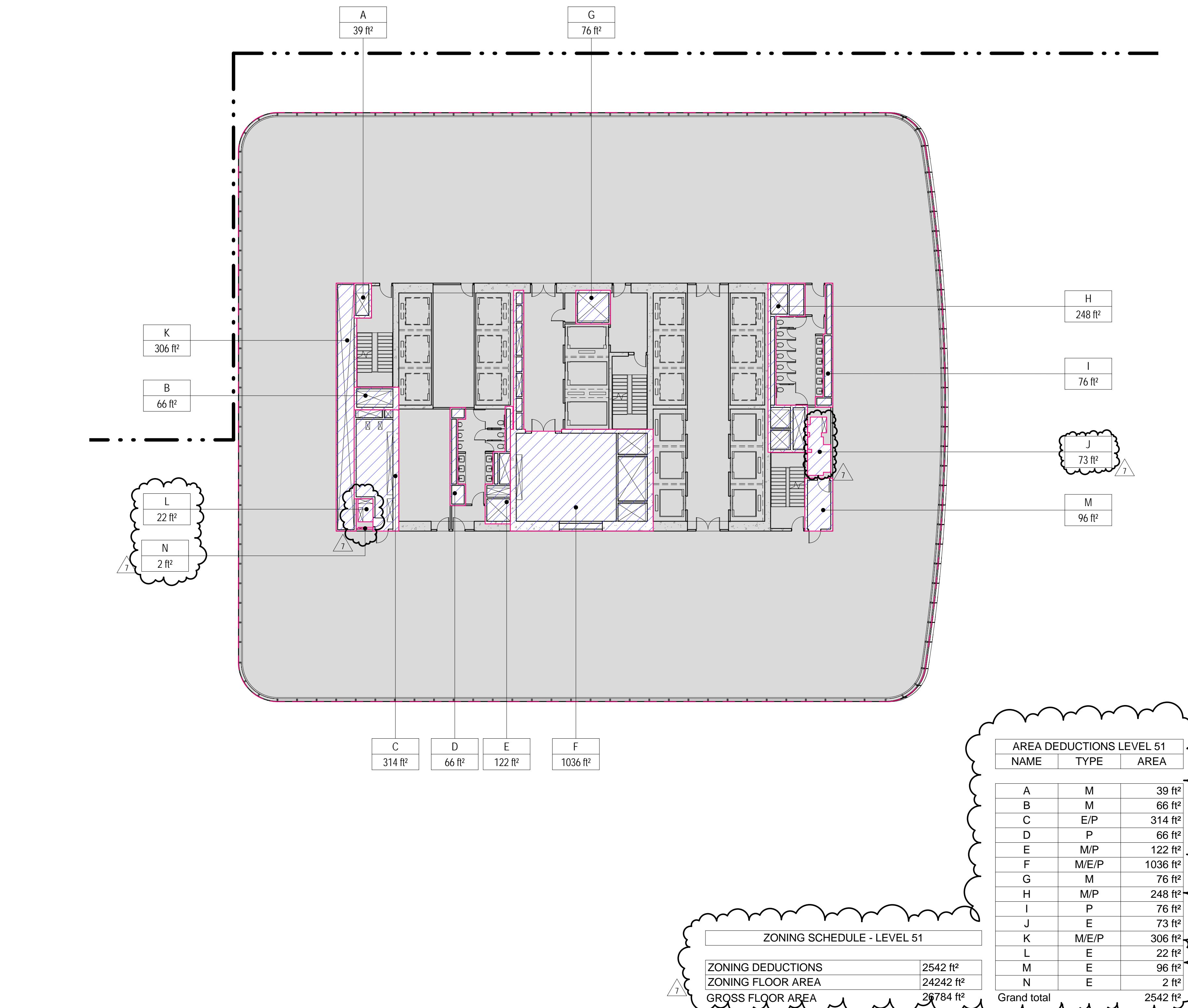
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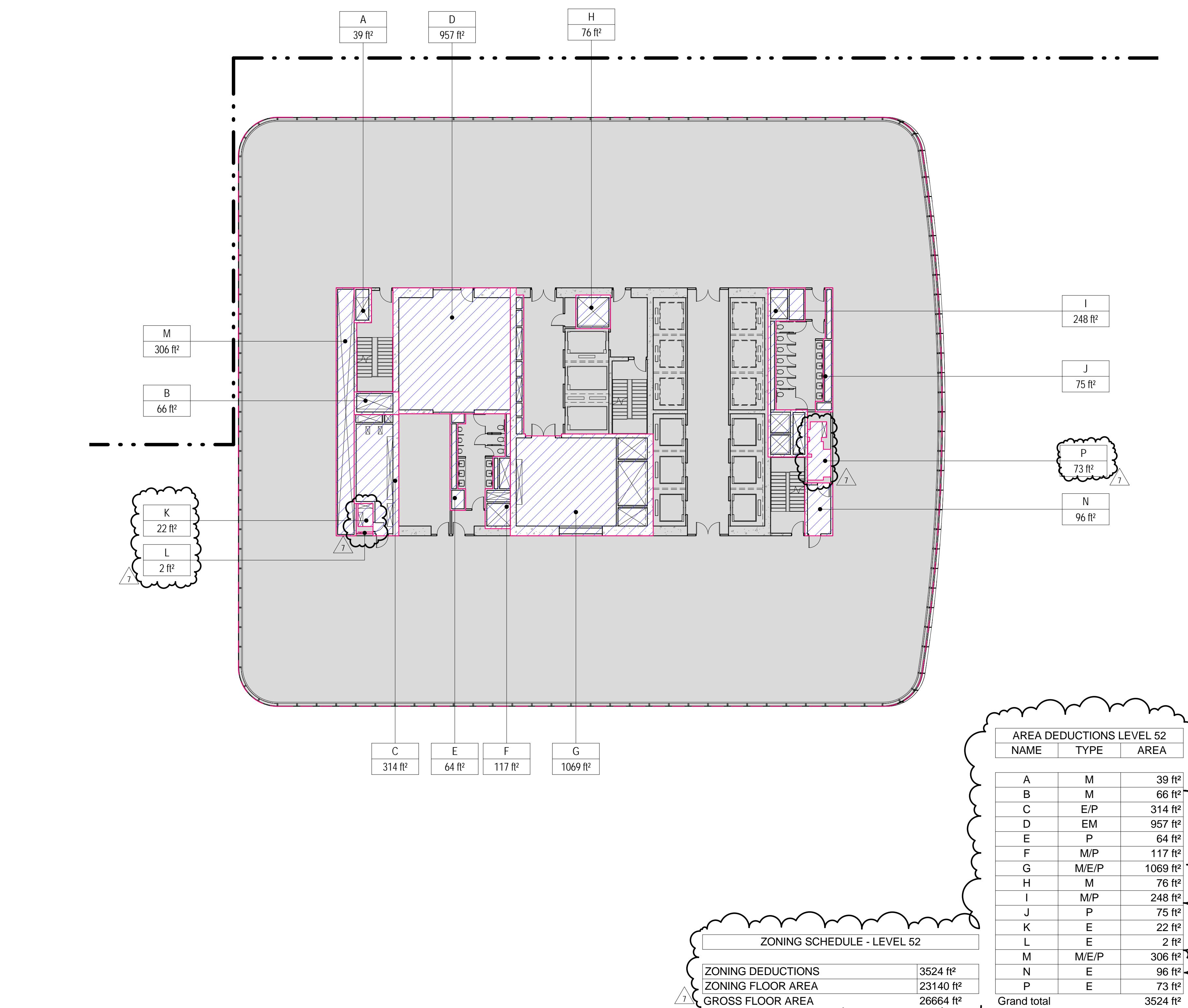
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ZONING LEGENDS

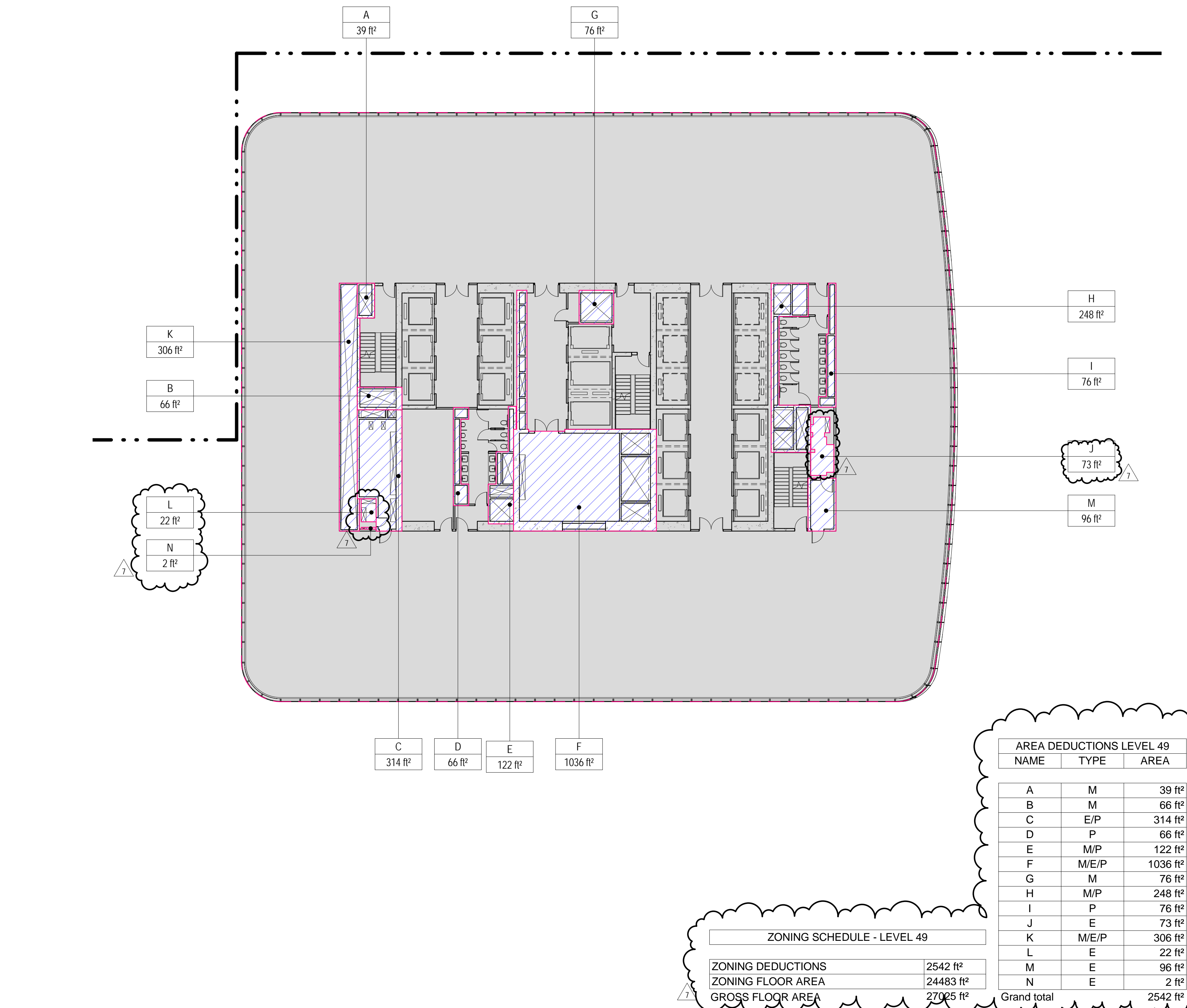
- GROSS BUILDING AREA
- ZONING AREA DEDUCTIONS
- ZONING FLOOR AREA
- RETAIL
- MR MECHANICAL ROOM
- M MECHANICAL
- E ELECTRICAL/TEL/IT
- P PLUMBING
- EM ELEVATOR MACHINE ROOM



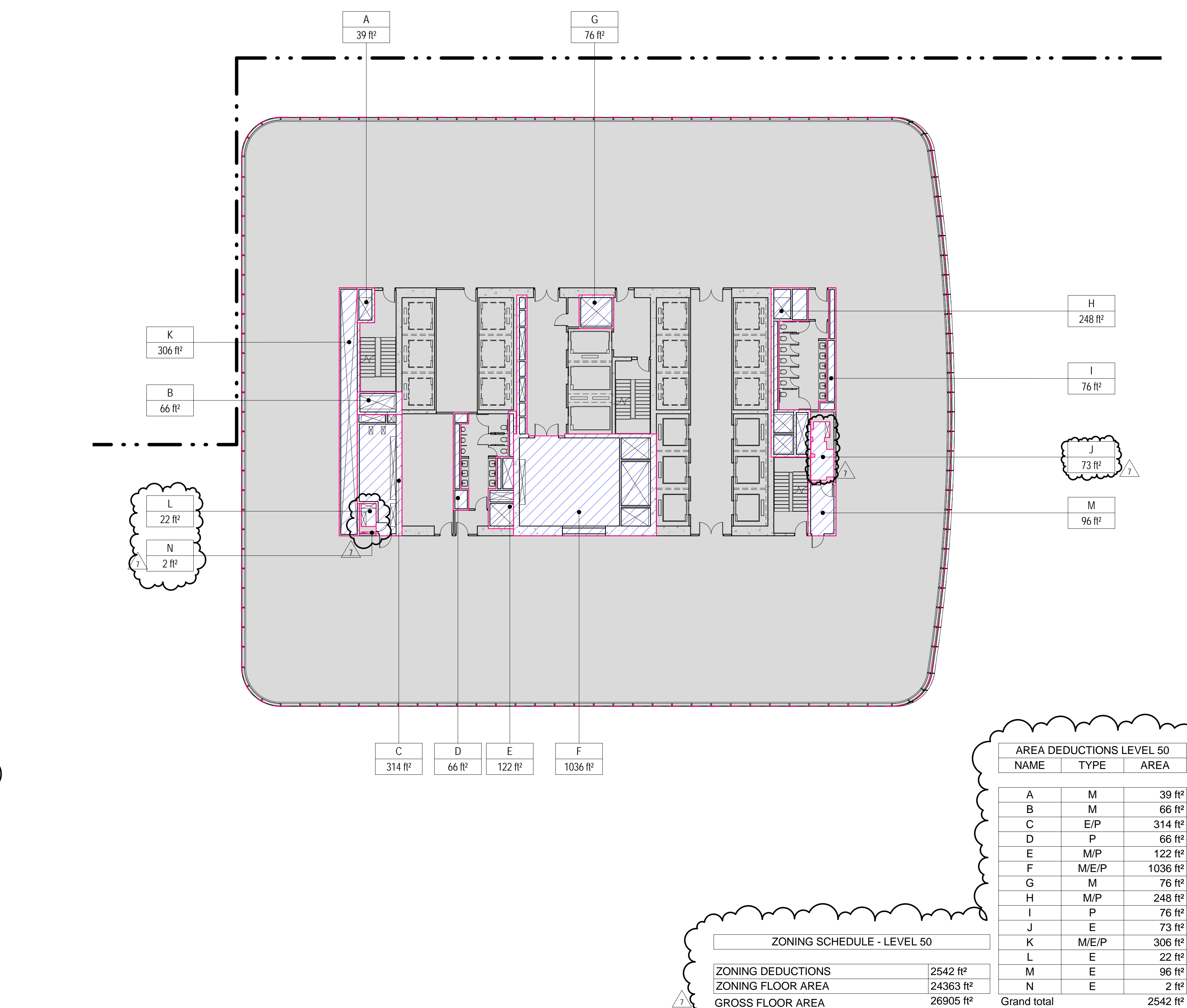
3 LEVEL 51 PLAN  
SCALE: 1/16" = 1'-0"



4 LEVEL 52 PLAN  
SCALE: 1/16" = 1'-0"



1 LEVEL 49 PLAN  
SCALE: 1/16" = 1'-0"



2 LEVEL 50 PLAN  
SCALE: 1/16" = 1'-0"

**ZONING FLOOR  
AREA  
DEDUCTIONS -  
LEVEL 49-52**

Project No.: 207150  
Date: 07 OCT 2015  
Scale: 1/16" = 1'-0"  
File No: 2-116

B-SCAN Sheet No.:  
**Z-116.01**  
Sheet No.:  
**Z-116**  
Page No.: 23 OF 30



- ZONING LEGENDS
- GROSS BUILDING AREA
  - ZONING AREA DEDUCTIONS
  - ZONING FLOOR AREA
  - RETAIL
  - MR MECHANICAL ROOM
  - M MECHANICAL
  - E ELECTRICAL/TEL./IT
  - P PLUMBING
  - EM ELEVATOR MACHINE ROOM



Brookfield Place  
250 Vesey Street, 15th Floor, New York, NY 10021

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**SOM**  
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14 Wall Street, New York, NY 10005

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Philip Habib & Associates  
102 Madison Avenue #11, New York, NY 10016

MEP Engineering  
Jaros Baum & Bolles  
80 Pine Street, New York, NY 10005

Vertical Transportation  
Edgett Williams Consulting Group, Inc.  
102 East Blithedale Ave. Suite 1, Mill Valley, California 94941

Sustainable Design  
Viridian Energy & Environmental  
50 Washington Street, Newark, CT 06854

Geotechnical Engineering  
Mueser Rutledge Consulting Engineers  
14 Penn Plaza, 22nd W. 34th Street, New York, NY 10122

Field Operations  
475 10th Avenue, New York, NY 10018

Security Consultant  
Ducibella, Vantor & Santoro  
250 State Street #F1, North Haven, CT 06473

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Weidinger Associates, Inc.  
40 Wall Street, New York, NY 10005

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Cerami & Associates  
404 Fifth Avenue #8, New York, NY 10018

Vibration Consultant  
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65 Broadway, Suite 401, New York, NY 10006

Code Consultant  
Code Consultants Professional Engineers PC  
215 West 40th Street, 15th Floor, New York, NY 10018

Facade Maintenance Consultant  
Entek Engineering LLC  
166 Ames Street, Hackensack, NJ 07601

Wind Tunnel Consultant  
Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8

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Under Directive s of 1975  
MAINTAINED REGISTRATION  
Date: 10/18/2015  
NYC Development Hub

Key Plan:



Seal & Signature:



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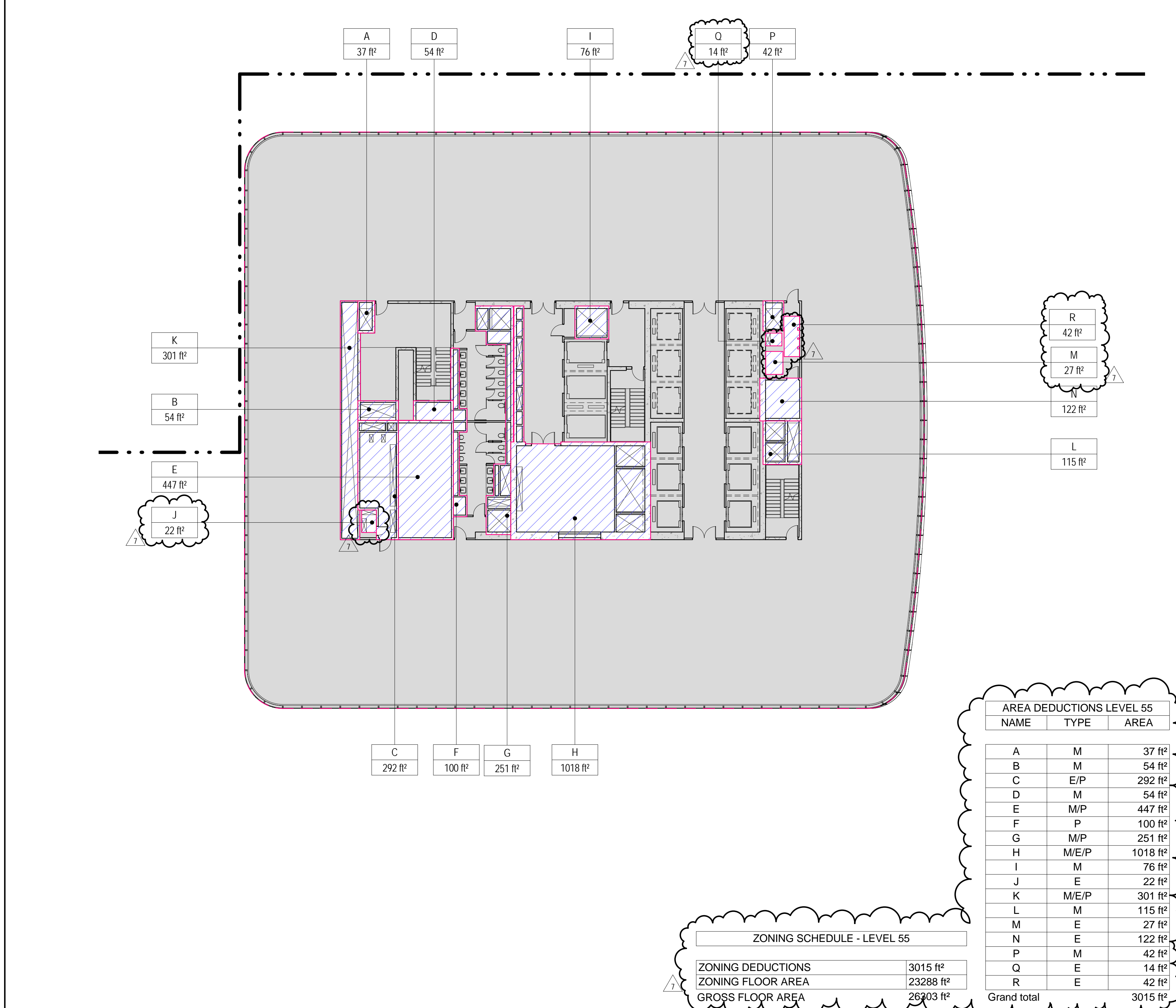
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4 26 FEB 2015 ISSUED FOR BUILDING PERMIT  
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No. Date Description  
Sheet Name:

**ZONING FLOOR AREA DEDUCTIONS - LEVEL 53-56**

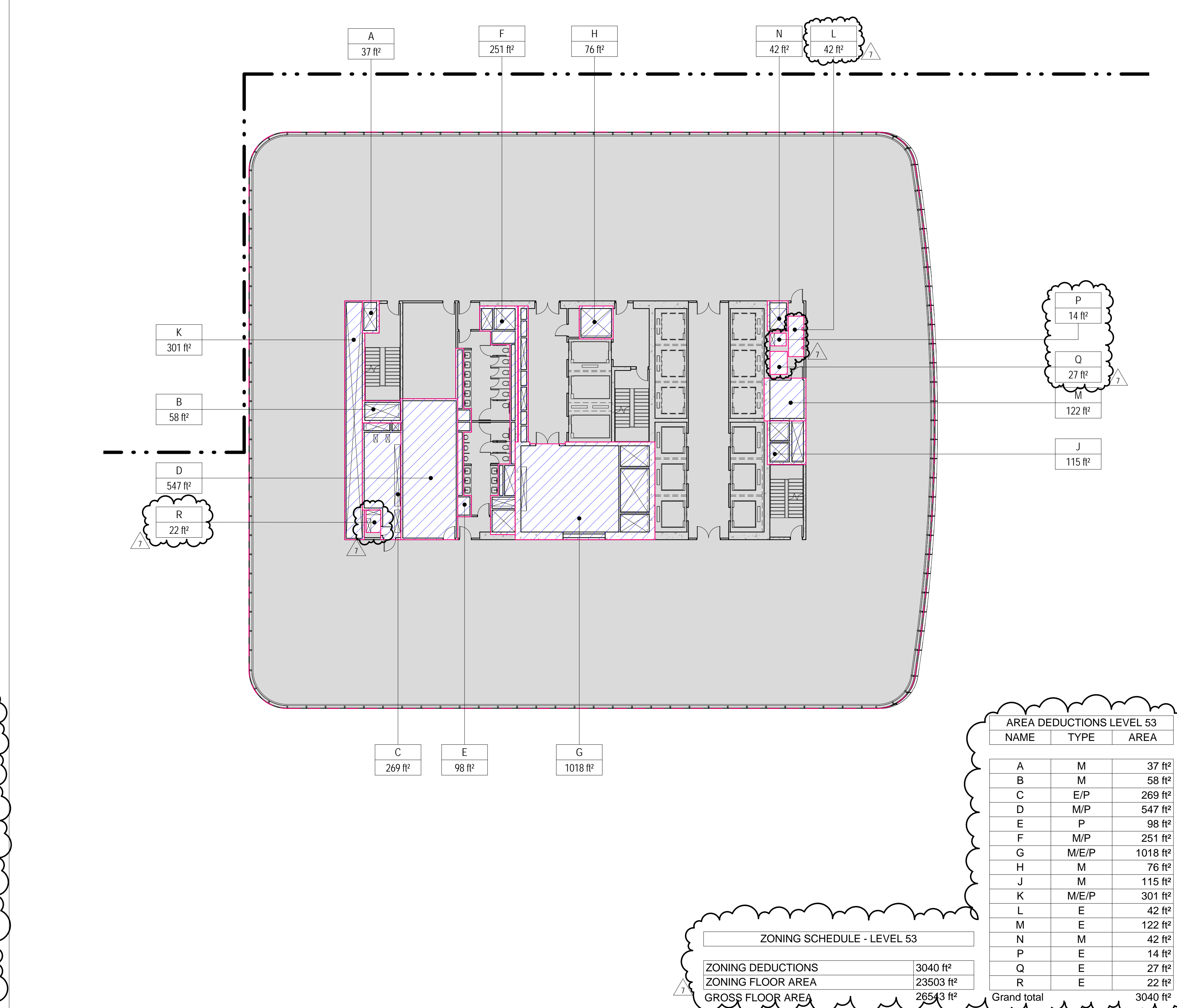
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File No.: Z-117

B-SCAN Sheet No.:  
Sheet No.:  
Page No.: 24 OF 30



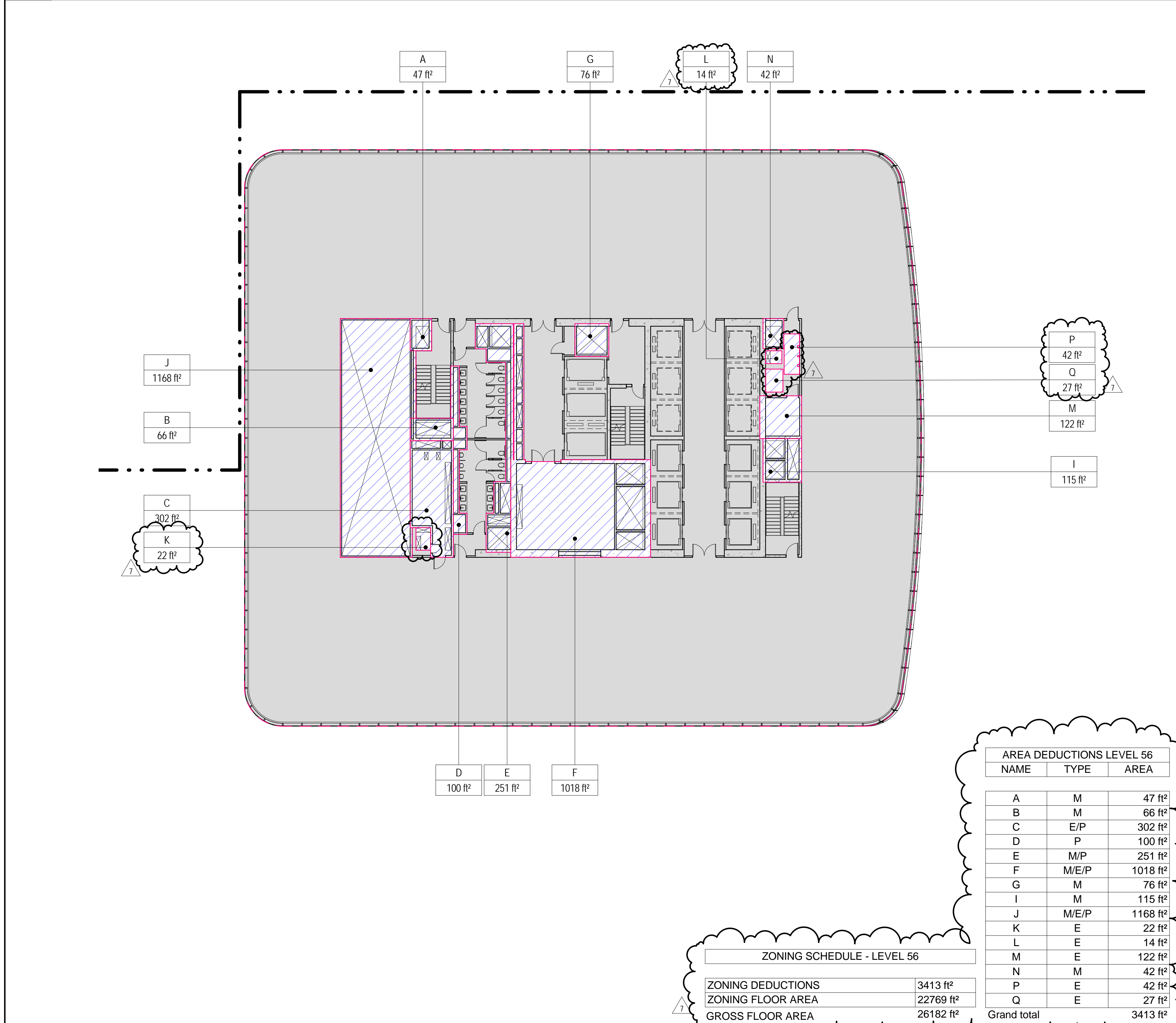
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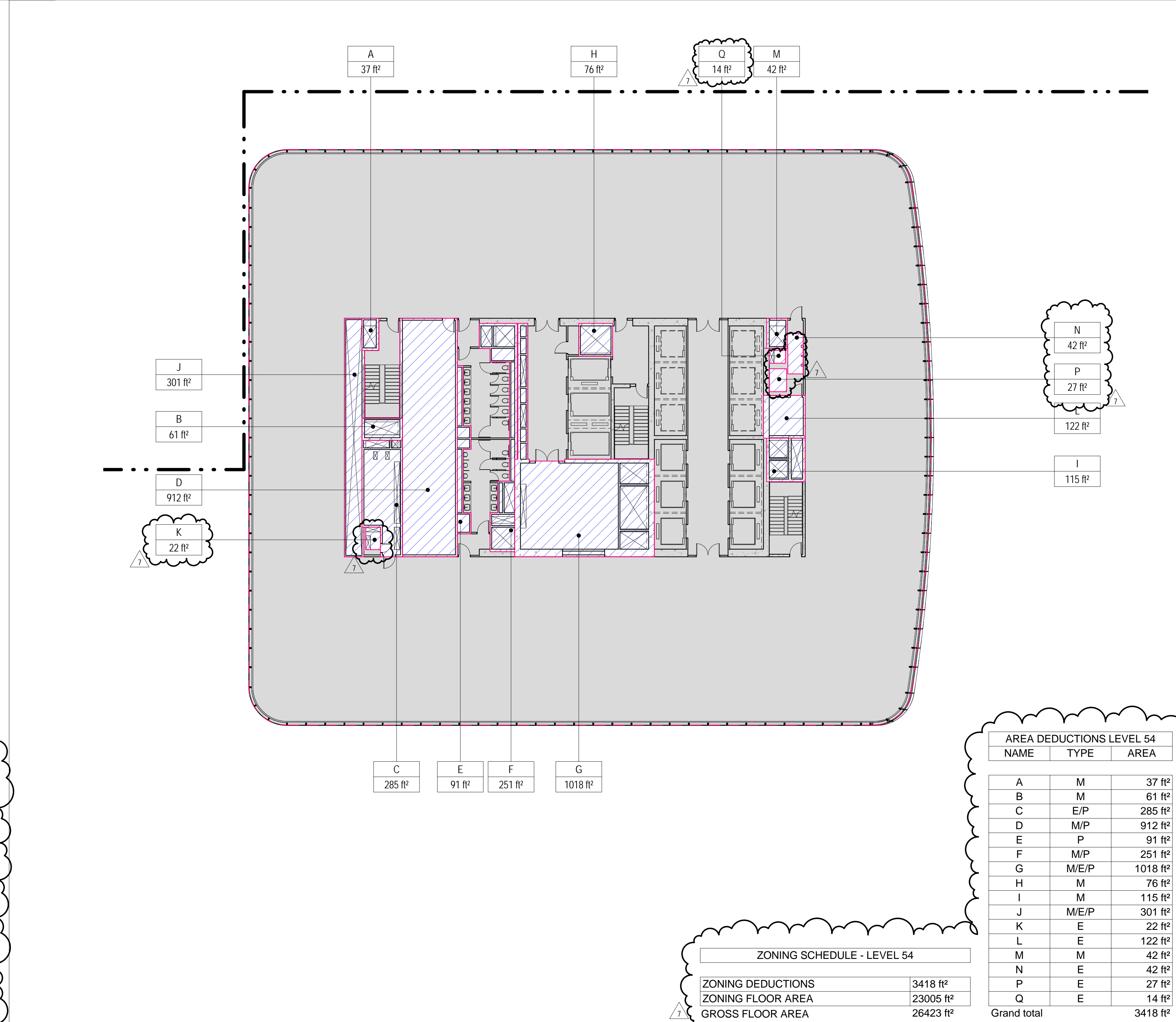
1 LEVEL 53 PLAN

SCALE: 1/16" = 1'-0"



4 LEVEL 56 PLAN

SCALE: 1/16" = 1'-0"

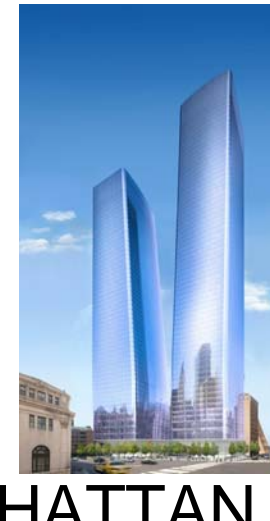


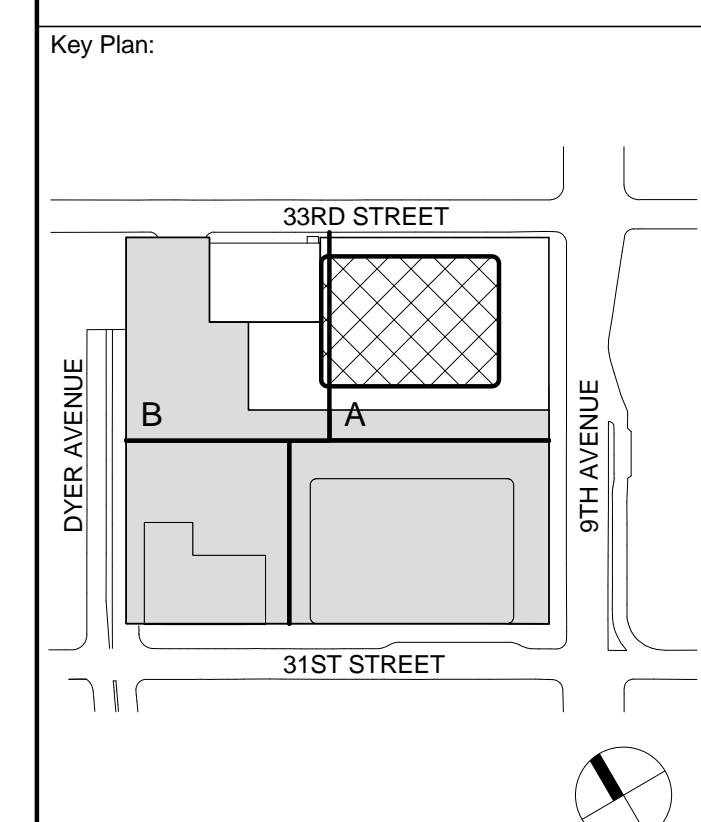
2 LEVEL 54 PLAN

SCALE: 1/16" = 1'-0"





	ESR-0074956	Star Code
		
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SOM		
Skidmore, Owings & Merrill LLP 14 Wall Street, New York, NY 10005		
Civil Engineering		
Philip Habib & Associates 102 Madison Avenue #11, New York, NY 10016		
MEP Engineering		
Jaros Baum & Bolles 80 Pine Street, New York, NY 10005		
Vertical Transportation		
Edgett Williams Consulting Group, Inc. 102 East Blinnedale Ave., Suite 1, Mill Valley, California 94041		
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Viridian Energy & Environmental 50 Washington Street, Norwalk, CT 06854		
Geotechnical Engineering		
Mueser Rutledge Consulting Engineers 14 Penn Plaza, 225 W. 34th Street, New York, NY 10122		
Landscape Consultant		
Field Operations 475 10th Avenue, New York, NY 10018		
Security Consultant		
Ducibella, Vantor & Santoro 250 State Street #F1, North Haven, CT 06473		
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Acoustical Consultant		
Cerami & Associates 404 First Avenue #B, New York, NY 10018		
Vibration Consultant		
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Codes Consultants Professional Engineers PC 215 West 40th Street, 15th Floor, New York, NY 10018		
Facade Maintenance Consultant		
Entek Engineering LLC 166 Ames Street, Hackensack, NJ 07601		
Wind Tunnel Consultant		
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2	20 JUN 2014	ISSUED FOR FOUNDATION PERMIT
1	20 DEC 2013	ISSUED FOR FOUNDATION PERMIT
No.	Date	Description

Sheet Name:

ZONING FLOOR  
AREA  
DEDUCTIONS -  
LEVEL 57-60

Project No.: 207120	B-SCAN Sheet No.:  <div style="font-size: 2em; text-align: center;">Z-118.01</div>
Date: 07 OCT 2015	
Scale: 1/16" = 1'-0"	
File No.:	
	Sheet No.:  Z-118
	Page No.: 25 OF 30

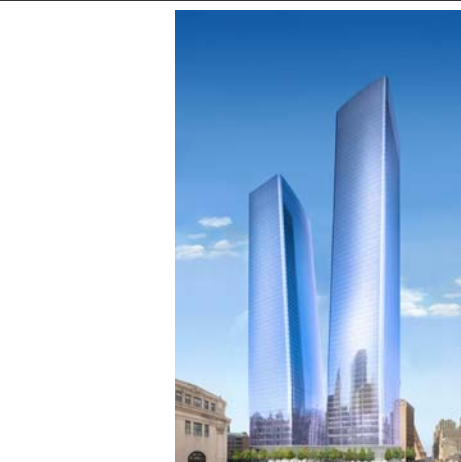




Scale: 1/16" = 1'-0"	Sheet No.: <b>Z-119</b>
File No.: Z-119	Page No.: 26 OF 30



- ZONING LEGENDS**
- GROSS BUILDING AREA
  - ZONING AREA DEDUCTIONS
  - ZONING FLOOR AREA
  - RETAIL
  - MR MECHANICAL ROOM
  - M MECHANICAL
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**MANHATTAN WEST:  
NORTH TOWER**  
375 Ninth Avenue, New York, NY 10001  
Client

**Brookfield**  
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**SOM**  
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Field Operations  
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Ducibella, Ventor & Santoro  
250 State Street #F1, North Haven, CT 06473

Blast Consultant  
Weidinger Associates, Inc.  
40 Wall Street, New York, NY 10005

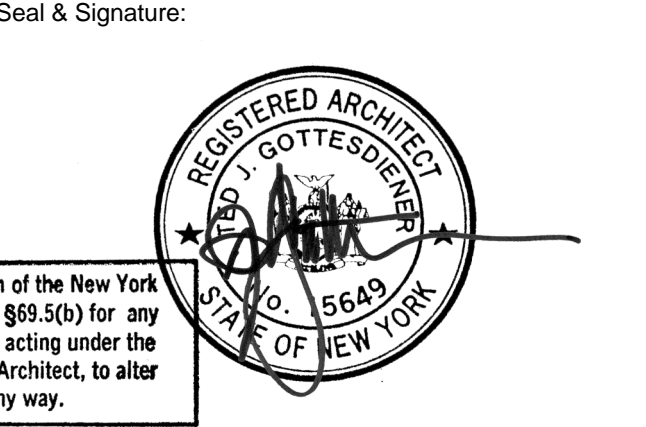
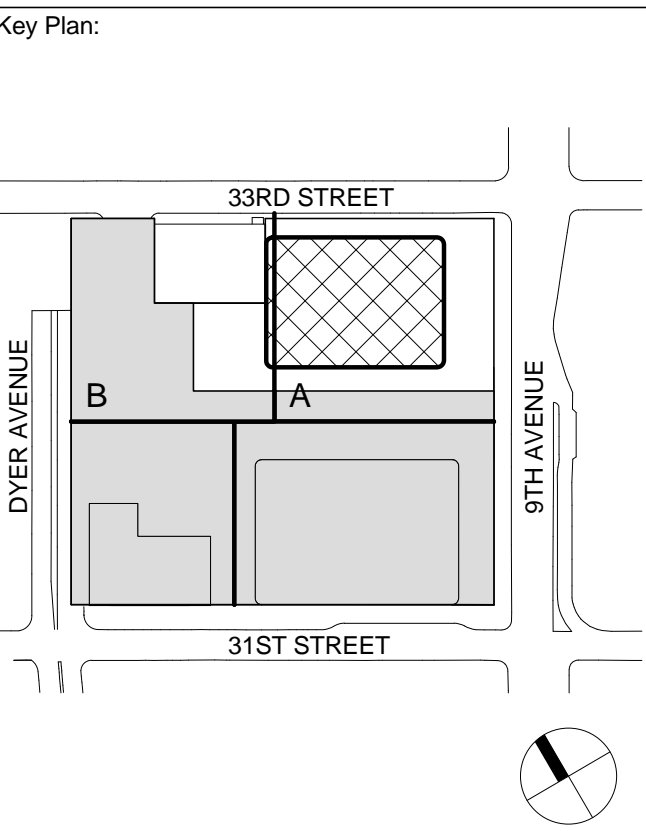
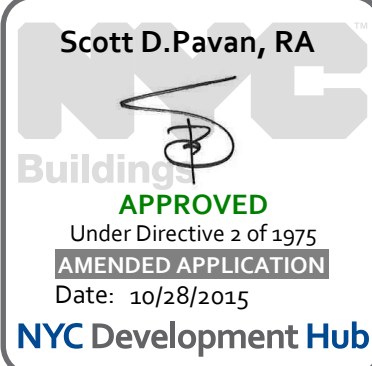
Acoustical Consultant  
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404 Fifth Avenue #8, New York, NY 10018

Vibration Consultant  
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65 Broadway, Suite 401, New York, NY 10006

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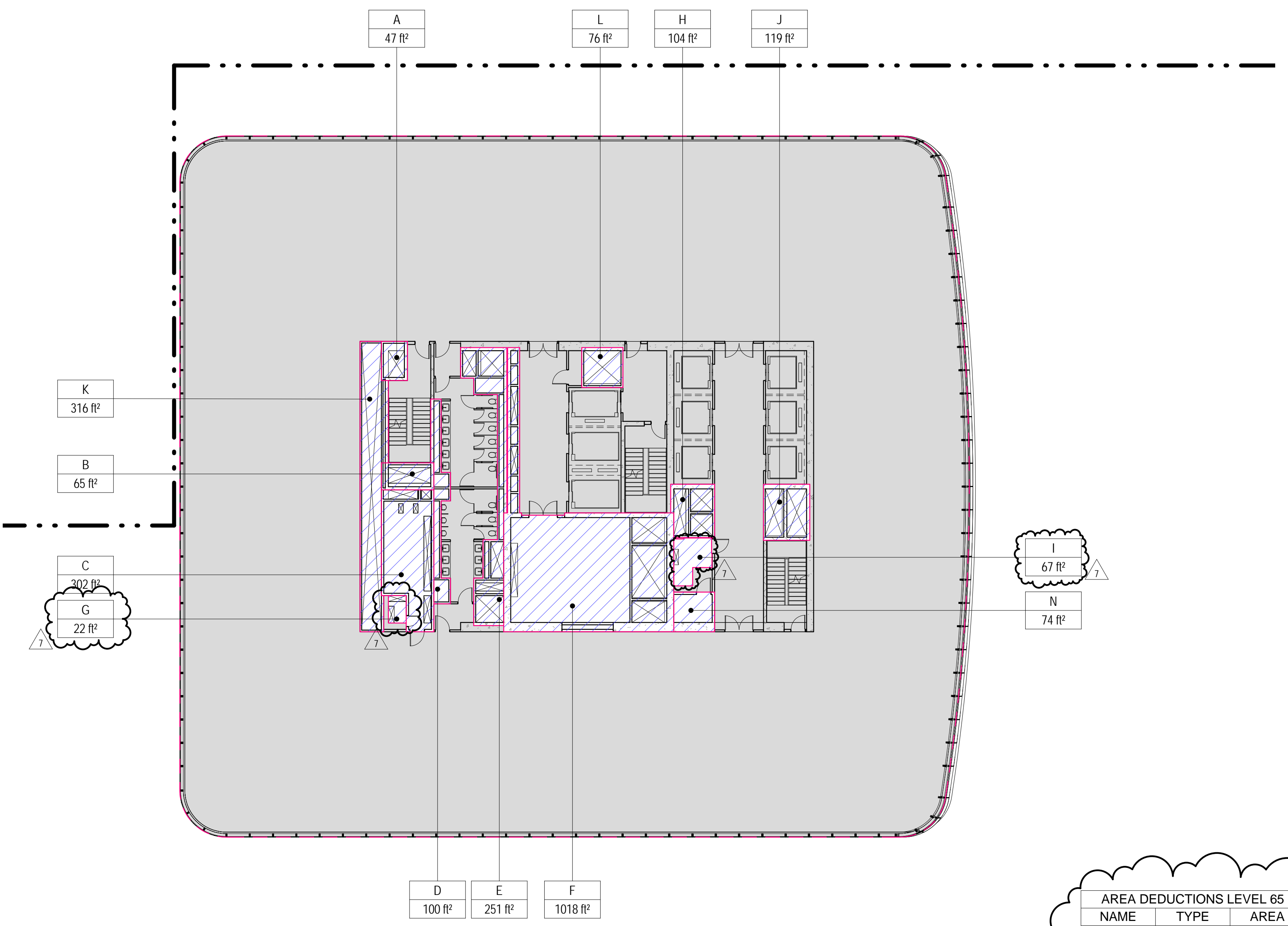
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**ZONING FLOOR  
AREA  
DEDUCTIONS -  
LEVEL 65-68**

Project No.: 207150	B-SCAN Sheet No.: Z-120.01
Date: 07 OCT 2015	Sheet No.: Z-120
Scale: 1/16" = 1'-0"	Page No.: 27 OF 30
File No.: Z-120	

AREA DEDUCTIONS LEVEL 65		
NAME	TYPE	AREA
A	M	47 R <sup>2</sup>
B	M	65 R <sup>2</sup>
C	E/P	302 R <sup>2</sup>
D	P	100 R <sup>2</sup>
E	M/P	251 R <sup>2</sup>
F	M/E/P	1018 R <sup>2</sup>
G	E	22 R <sup>2</sup>
H	M	104 R <sup>2</sup>
I	E	67 R <sup>2</sup>
J	M	119 R <sup>2</sup>
K	M/E/P	316 R <sup>2</sup>
L	M	76 R <sup>2</sup>
N	E	74 R <sup>2</sup>
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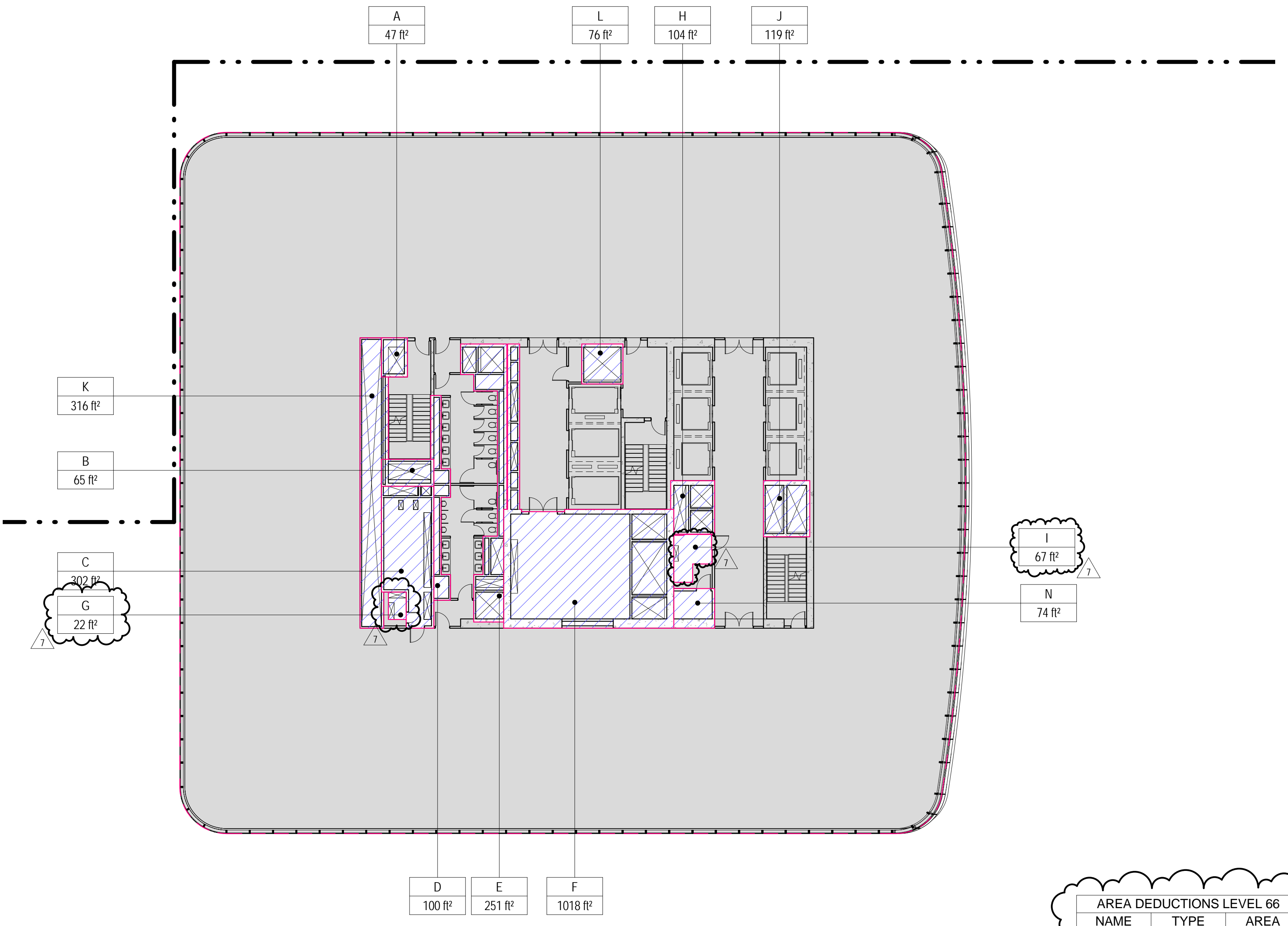
ZONING SCHEDULE - LEVEL 65	
ZONING DEDUCTIONS	2564 R <sup>2</sup>
ZONING FLOOR AREA	22535 R <sup>2</sup>
GROSS FLOOR AREA	25096 R <sup>2</sup>



**1 LEVEL 65 PLAN**  
SCALE: 1/16" = 1'-0"

AREA DEDUCTIONS LEVEL 66		
NAME	TYPE	AREA
A	M	47 R <sup>2</sup>
B	M	65 R <sup>2</sup>
C	E/P	302 R <sup>2</sup>
D	P	100 R <sup>2</sup>
E	M/P	251 R <sup>2</sup>
F	M/E/P	1018 R <sup>2</sup>
G	E	22 R <sup>2</sup>
H	M	104 R <sup>2</sup>
I	E	67 R <sup>2</sup>
J	M	119 R <sup>2</sup>
K	M/E/P	316 R <sup>2</sup>
L	M	76 R <sup>2</sup>
N	E	74 R <sup>2</sup>
Grand total		2564 R <sup>2</sup>

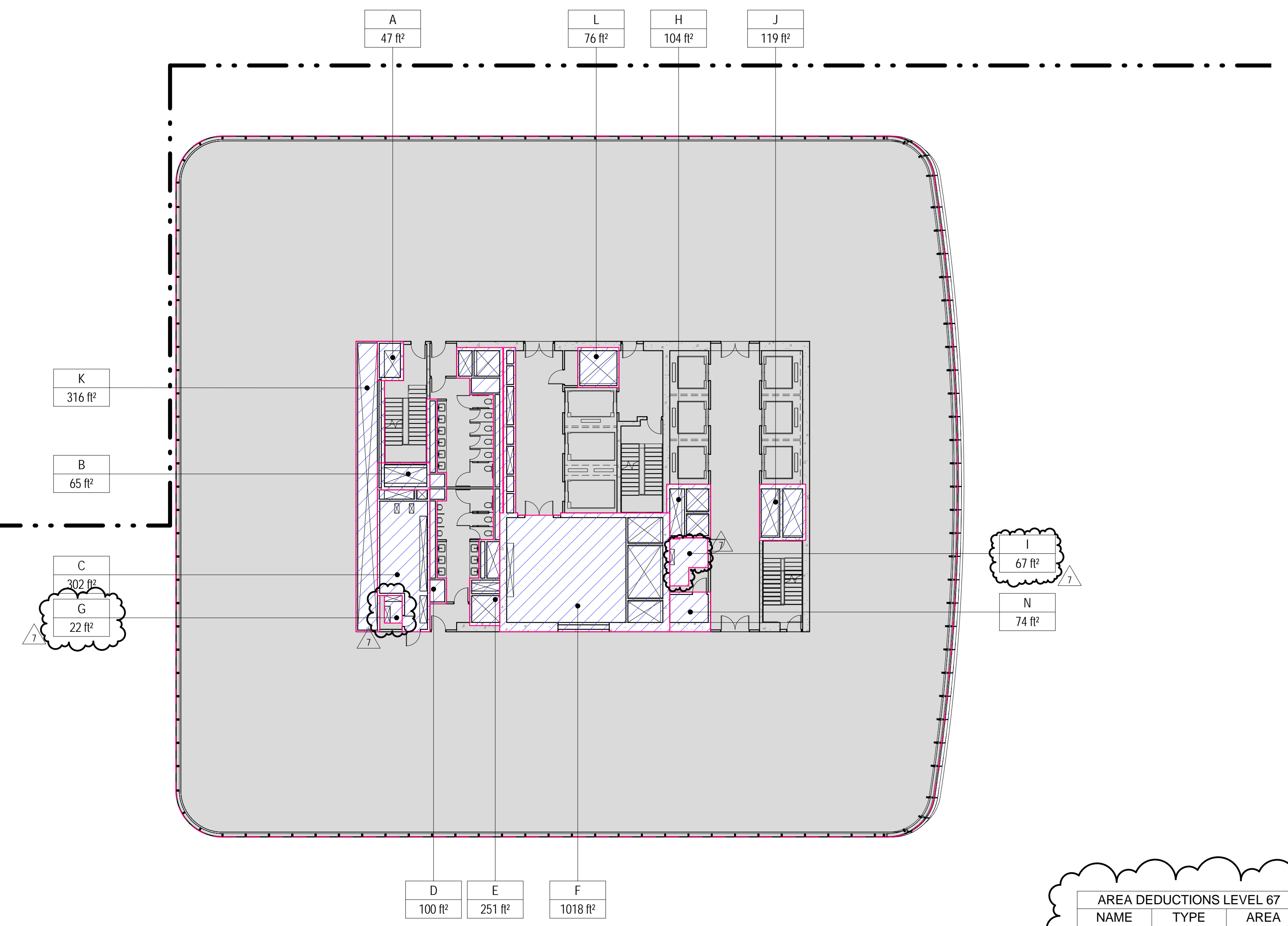
ZONING SCHEDULE - LEVEL 66	
ZONING DEDUCTIONS	2564 R <sup>2</sup>
ZONING FLOOR AREA	22415 R <sup>2</sup>
GROSS FLOOR AREA	24978 R <sup>2</sup>



**2 LEVEL 66 PLAN**  
SCALE: 1/16" = 1'-0"

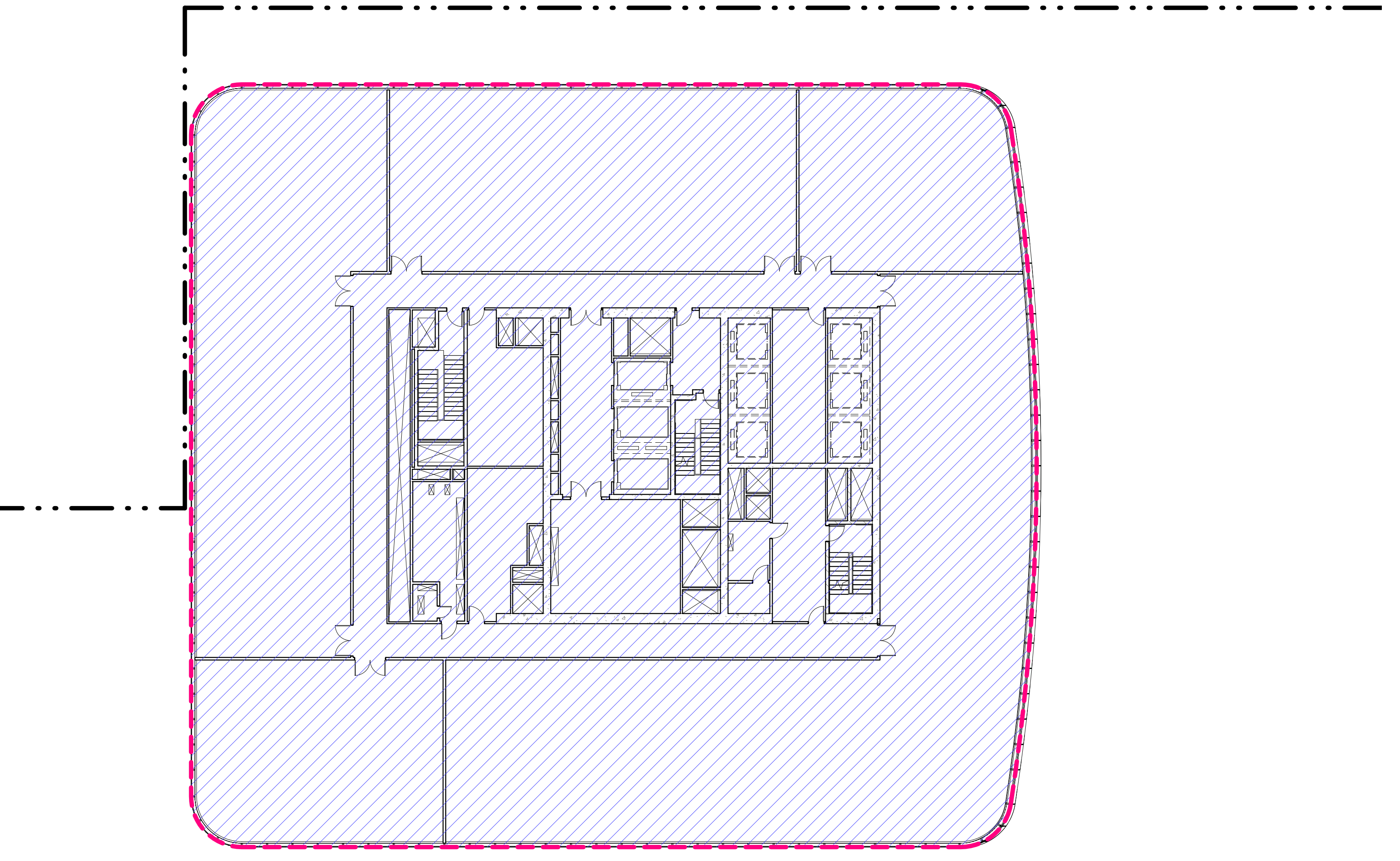
AREA DEDUCTIONS LEVEL 67		
NAME	TYPE	AREA
A	M	47 R <sup>2</sup>
B	M	65 R <sup>2</sup>
C	E/P	302 R <sup>2</sup>
D	P	100 R <sup>2</sup>
E	M/P	251 R <sup>2</sup>
F	M/E/P	1018 R <sup>2</sup>
G	E	22 R <sup>2</sup>
H	M	104 R <sup>2</sup>
I	E	67 R <sup>2</sup>
J	M	119 R <sup>2</sup>
K	M/E/P	316 R <sup>2</sup>
L	M	76 R <sup>2</sup>
N	E	74 R <sup>2</sup>
Grand total		2564 R <sup>2</sup>

ZONING SCHEDULE - LEVEL 67	
ZONING DEDUCTIONS	2564 R <sup>2</sup>
ZONING FLOOR AREA	22295 R <sup>2</sup>
GROSS FLOOR AREA	24958 R <sup>2</sup>



**3 LEVEL 67 PLAN**  
SCALE: 1/16" = 1'-0"

ZONING SCHEDULE - LEVEL 68	
ZONING DEDUCTIONS	24724 R <sup>2</sup>
GROSS FLOOR AREA	24724 R <sup>2</sup>



**4 LEVEL 68 PLAN**  
SCALE: 1/16" = 1'-0"